



NOTICE OF MEETING

Planning Commission

Regular Meeting – Thursday, May 19, 2022 – 5:30 PM
City Hall – 1100 Frederick Avenue, Council Chamber

RULES OF CONDUCT ADOPTED BY COMMISSION

1. Give your name and complete address.
2. No one may speak more than twice on the same item.
3. No one may speak more than five minutes at a time without permission from the Chairperson.
4. No one may speak a second time on a question until every person who wants to speak has done so.
5. All submissions of evidence, i.e., photos, drawings, will be retained by the Planning Commission and will become a part of the permanent file.

Please speak clearly and adjust your microphone if needed.

AGENDA

CALL TO ORDER:

ROLL CALL:

CERTIFIED COPY OF CHAPTERS 11, 26 AND 31 AVAILABLE:

POSTPONEMENTS/ADJUSTMENTS TO THE AGENDA:

OLD BUSINESS:

NEW BUSINESS:

1. **Approval of the minutes** - Planning Commission meeting held April 28, 2022
2. **Zoning District Change** – A request for approval of a change of zoning from RP-2 Planned Two-Family Residential District and R-1B Single-Family Residential to RP-3 Planned Garden Apartment Residential District for property located at 3200 Timber Creek Drive and 3002 Ajax Road as requested by Shawn Duke on behalf of Midland Construction Services LLC
3. **Major Subdivision** – A request for approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision located at 3200 Timber Creek Drive and 3002 Ajax Road, as requested by Shawn Duke on behalf of Midland Construction Services LLC
4. **Authorization to enter into a Subdivision Improvement Agreement** - Approval of an

application to waive the requirement of Section 26-70(a) and permit the applicant to enter into a subdivision improvement agreement for Timber Creek Subdivision as provided in Section 26-71(a)

5. **Major Subdivision** – A request for approval of a preliminary plat for a major subdivision entitled Hillyard Addition located at 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th, as requested by Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC
6. **Authorization to enter into a Subdivision Improvement Agreement** - Approval of an application to waive the requirement of Section 26-70(a) and permit the applicant to enter into a subdivision improvement agreement for Hillyard Addition as provided in Section 26-71(a)
7. **Zoning District Change** – A request for approval of a change of zoning from R-3 Garden Apartment Residential District to RP-4 Planned Apartment Residential District for property located at 4820 Gene Field Road as requested by Clark Hampton on behalf of Pivotal Point Transitional Housing

PUBLIC COMMENT:

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-5500, or TODD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

MINUTES
PLANNING COMMISSION
April 28, 2022
5:30 P.M. Regular Meeting
Council Chambers – City Hall

	<u>Name</u>	<u>Members' Term Attendance</u> (mtgs. attended-mtgs absent)	<u>End of Current Term of Office</u>
MEMBERS PRESENT:	Bob Bucher	(41-04)	06/15/23
	Tim Doyle	(24-06)	12/14/24
	Patt Lilly	(06-00)	01/29/27
	Donna Jean Boyer	(46-05)	07/22/23
	Houston Roberts	(09-03)	08/04/24
	Tom Richmond	(05-01)	07/17/22
	Brett Hausman	(05-01)	08/05/23
MEMBERS ABSENT:	Allison Tschannen	(20-15)	07/15/24
	Ben Burnnett	(35-15)	02/12/23
STAFF PRESENT:	Zack Martin, City Planner Brady McKinley, Assistant Director, Public Works Rebecca Shipp, Executive Administrative Assistance		

Call to Order –Doyle called the meeting to order at 5:31pm.

Doyle read the rules of conduct.

ROLL CALL: Roberts-present, Tschannen-absent, Richmond – present, Burnnett-absent, Bucher-present, Doyle-present, Lilly – present, Hausman – present, Boyer-present. Quorum is present. Five members constitute a quorum.

Doyle entered Chapters 11, 26 and 31 of the Code of Ordinance into evidence.

Martin informed Commission items #2-4 were going to be postponed until May at the request of the applicant.

Bucher made a motion to approve the minutes of the March 24, 2022 meeting. Richmond seconded.

VOTE: Roberts-yes, Richmond – yes, Bucher-yes, Doyle – yes, Lilly – yes, Hausman -yes, Boyer -yes.

Ayes – 7, Nays – 0, Abstain – 0 Minutes approved.

OLD BUSINESS

None

NEW BUSINESS

ITEM #1 Zoning District Change – A request for approval of a change of zoning from C-3 Commercial District and R-1A Single Family Residential District to C-3 Commercial District for property located at 1305 S 38th Street as requested by Ronald Bachman.

Martin gave the staff report.

Discussion was held between Commissioners and staff regarding the item.

Doyle opened the item for public comment.

Ron Bachman, 1706 S 41st - spoke in favor of the item.

No one spoke in opposition to the item.

Doyle closed the item for public comment.

Discussion was held between Commissioners and staff regarding the item.

Lilly made a motion to approve the item. Boyer seconded.

VOTE: Roberts-yes, Richmond – yes, Bucher-yes, Doyle – yes, Lilly – yes, Hausman -yes, Boyer -yes.

Ayes – 7, Nays – 0, Abstain – 0 Motion approved.

Martin gave a preview of next month's meeting.

Martin reminded the Planning Commissioners the meeting in May will be moved up one week. The meeting will be held May 19, 2022.

The meeting adjourned at 5:44 pm.

Minutes respectfully submitted,

Rebecca Shipp

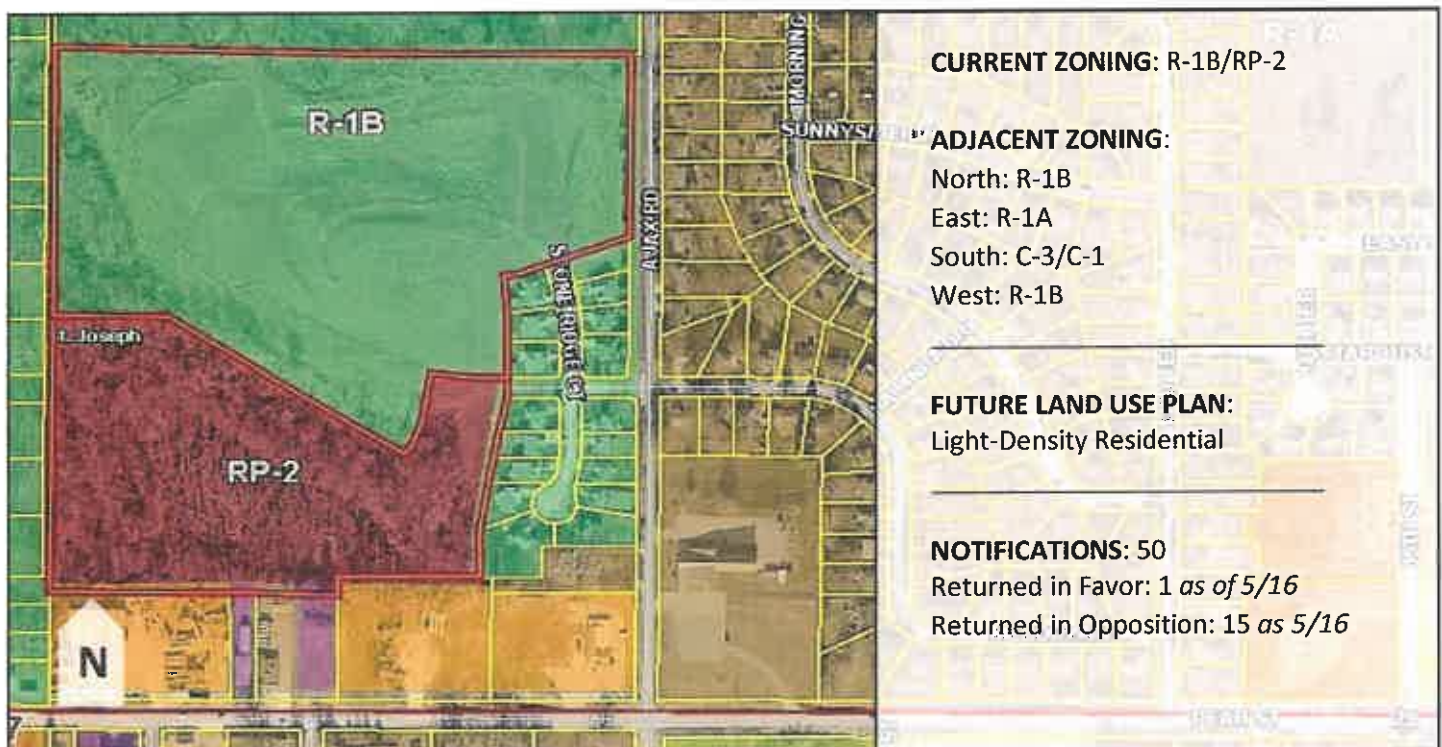
cc: Paula Heyde, City Clerk
Planning Commission Members
Bryan Carter, City Manager
Clint Thompson, Planning & CD Director
Jason Soper, Assistant City Attorney
Brady McKinley, Public Works Assistant Director
Mark Townsend, Technology Associate Director

Application	Request for Rezoning from RP-2, Planned Two-Family Residential and R-1B, Single-Family Residential to RP-3, Garden Apartment Residential
Applicant	Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location	3200 Timber Creek Drive & 3002 Ajax Road
Staff Recommendation	APPROVAL

BACKGROUND

This request is to re-zone the properties located at 3200 Timber Creek Drive & 3002 Ajax Road. This rezoning is for the continued development of the Timber Creek residential subdivision. The current proposal is for a mix of single-family, two-family, and three apartment buildings to be developed on the site. This rezoning would bring the entire development area into one zoning district, allowing all aforementioned uses, and giving flexibility to the developers to ensure quality and effective use of the property. The surrounding properties are zoned a mix of residential and commercial, with the north, west, and eastern boundaries bordered by residential uses, and commercial uses and zoning to the south along Pear Street.

OVERVIEW



ATTACHMENTS INCLUDED:

- Application & supporting documents provided by applicant.
 - Letter to adjacent property owners.
-

FACTORS FOR CONSIDERATION:

1. Conformance with adopted plans and planning policies.

Staff finds that the requested zoning district change is generally in keeping with adopted plans and planning policies. The Future Land Use Plan designates this area as “Light-Density Residential”. This use is reflected in the proposed expansion of the Timber Creek subdivision with additional single and two-family homes. The proposed rezoning would also permit three proposed apartment buildings in the southwestern corner of the property, abutting the commercial properties to the south and approximately three single-family residential properties to the southwest. This proposal largely adheres to the original rezoning for the property, which was approved in June of 2008, permitting two-family homes, with the addition of apartments to address changes in market demand over the past 14 years.

2. Zoning and use of nearby property.

The immediately surrounding areas are zoned a mixture of residential and commercial districts. The uses of the surrounding properties reflect this zoning. The area to the south is zoned C-3 and C-1 and is the location of numerous commercial structures. The properties to the north, west, and east are all a mix of residential zoning, and largely built out with single-family dwellings or similar uses, such as churches. Historically the subject property had been in development as a residential subdivision for at least the past 14+ plus years, with the properties along Stone Ridge Court off of Ajax Road being the primary focus of development in that time.

3. Whether public facilities (infrastructure) and services will be adequate to serve development allowed in the requested zoning district change.

The development of the subdivision is expected to occur in phases, and as it is, the proposed residential uses would be adequately served by public facilities and services. The proposed subdivision (a separate application) addresses this and indicates the phasing of the project.

4. Whether traffic levels are inappropriate, hazardous, or detrimental to existing or potential nearby land uses.

As part of the application process, the applicant completed a minor traffic study of the area. The study (attached) found that the construction of the subdivision would result in minimal increases in overall traffic volume from the expected opening year of 2023 through a design year of 2043. Aiding in traffic flow is the proposed entrance at Pear Street of South 31st Terrace, which would be in addition to the existing access off of Ajax Road. Staff feels that this study supports the finding that the proposed rezoning and development would not be inappropriate, hazardous, or detrimental to the surrounding area.

5. Length of time the subject property has remained vacant as currently zoned.

As noted previously, the property has been in development for a number of years, with this particular portion of the property having been undeveloped for approximately 14 years. Changes in the real estate market, construction market, and general economy has prompted the change in development thus requiring this zoning change request.

STAFF REVIEW & RECOMMENDATION

Staff recommends **APPROVAL** based on the above and following findings:

- Request is generally in keeping with City's current Future Land Use Map:
- Proposed rezoning is not detrimental to public's health, safety, or welfare:
- The Proposed rezoning would allow for the continued development of the Timber Creek subdivision, allowing for the maximal use of the owner's land, and an increase of housing options for residents of St. Joseph.

Staff: 
Zack Martin AICP
City Planner
(816) 271-4648
zmartin@stjosephmo.gov



ZONING DISTRICT CHANGE APPLICATION

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
Zack Martin, City Planner | (816) 271-4648 | zmartin@stjoemo.org

All applications for a zoning district change in the City must comply with Chapter 31 of the City's Code of Ordinances, located online at stjoemo.info. The following must be included with every application:

1. Completed Application
2. Written statement of purpose for the proposed zoning change in separate document & legal description of property
3. Any additional supporting materials
4. Application fee (\$1,365)
5. Planned Unit and Planned Developments must also provide materials on PUD/PD list

THE UNDERSIGNED HEREBY APPLIES FOR THE APPROVAL OF SAID ZONING DISTRICT CHANGE BY THE CITY OF ST. JOSEPH IN BELIEF THAT THE PLAN CONFORMS TO CHAPTER 31 OF THE CODE OF ORDINANCES. With the signing and submittal of this application, the property owner authorizes the City of St. Joseph to enter onto the subject property to collect data and other information in order to accurately prepare reports or other documentation for review by the City Council, City boards and commissions, and City departments.

Proposed ZDC Location

Street 3200 Timber Creek Drive
City, State, Zip St. Joseph, MO 64503
Requested Zoning District PR-3

Applicant Information

Name Midland Construction Services LLC Primary Contact ☐ Yes ☐ No
Street PO Box 204 Property Owner ☒ Yes ☐ No
City, State, Zip Gower, MO 64454
Phone (816) 271-5253 Email Timbercreekstjoe@gmail.com
Signature [Signature] Mike Jessen Date 3-18-22

Representative Contact Information (Not Required if as Applicant)

Name Shawn Duke Primary Contact ☒ Yes ☐ No
Business Name Snyder + Associates, Inc
Street 802 Francis St.
City, State, Zip St. Joseph, MO 64501
Phone (816) 364-5223 Email sduke@snyder-associates.com
Signature [Signature] Date 3/18/22

Planning Commission hearings, unless otherwise stated or posted, are held on the last Thursday of each month at 5:30pm in the City Council Chambers on the 3rd floor of City Hall (1100 Frederick Avenue). Submittal deadlines are the last Friday the month prior. Commission recommendations are forwarded onto City Council for final approval.

Section to be completed by City

Received By JM Date 3/25/22 Current Zoning RP-2
Accela ID P222-00046 Total (\$) 1,365.00

Application Check List for Zoning District Change for Planned Unit Developments and Planned Developments

The following must be submitted prior to the application deadline. Otherwise, the application will be deemed incomplete and may result in unnecessary delays: (Please ✓ when complete)

A conceptual development plan that must include:

- ___ 1. The boundaries of the tract to be rezoned and the area adjacent for a distance of at least 500 feet.
- ___ 2. Legal description in digital form (preferably e-mailed to the City Planner).
- ___ 3. Existing and proposed topography. Contours shall not exceed ten ft. intervals and shall be on a plan at a scale of one inch equals 200 ft. or larger. The proposed topography shall be clearly delineated on the plan.
- ___ 4. The proposed location and arrangements of buildings, structures, parking areas, existing and proposed streets, drives and other public ways, public property, drainage, landscaping and other features of the proposed development.
- ___ 5. Sufficient approximate dimensions to indicate the relationship between buildings, streets, drives and property lines.
- ___ 6. A draft of conditions, covenants and restrictions (CC&Rs), easements, associations and maintenance agreements as well as specifications for ingress/egress to the property and any other legal requirements which will run with the property.
- ___ 7. Preliminary elevation and plan drawings of proposed buildings which sufficiently depict the architectural theme of the development.
- ___ 8. Preliminary sign program identifying common materials, sizes, heights and locations to be used on signs within the development. The materials used shall be consistent with the architectural theme of the buildings.

Sec. 31-036



N.T.S

[illegible]

April 22, 2022

Zackary Martin
City of St. Joseph
1100 Frederick Avenue
St. Joseph, MO 64501

RE: Timber Creek Residential Development:

Dear Mr. Martin,

The following are our responses to your comments.

Planning & Zoning Department

1. There is a potential issue in the naming of the plat as "Timber Creek" as there exists Timber Creek Plat 1 & Timber Creek Plat 2A. Recommend that the change be to Timber Creek Plat 3.
The preliminary plat has been renamed "Timber Creek Plat 3".
2. There is a discrepancy with the lot count. Application states 79 lots, however staff was only noted 76 and 2 tracts.
Lots and tracts have been renamed and renumbered to show 79 lots and 1 tract.
3. Recommend that existing "Tract" be relabeled as a storm easement, and "Tract D" be relabeled "Open Space" as those would appear to be the intent of those two areas.
The "Tract" has been relabeled to Tract A (Storm Water Detention) and "Tract D" has been relabeled with a lot #.
4. If property is being developed in phases, recommend that the phases be indicated on the preliminary plat.
Development phases have been added to the preliminary plat.
5. Easements are not clearly labeled as such.
Easements have been labeled.
6. Rename Larson Rd to South 31st Street or Terrace.
Larson Rd has been renamed to South 31st Street.

Legal

1. Required review of proposed covenants and restrictions of HOA for the subdivision.
Acknowledged they will be submitted by attorney.

Stormwater

1. The large tract in the northwest corner of the project, where the stormwater basins will be built, needs to be called a stormwater easement, not tract.
The tract has been labeled Tract A (Storm Water Detention) and a note has been added that the Tract will be dedicated as a Stormwater Drainage Easement.
2. Stormwater easements need to be clearly shown on the plans.
Stormwater easements have been added.
3. Include the phasing schedule for the stormwater facilities being built on the site.
Phasing has been added to the plans.
4. All projects with stormwater facilities are being required to submit O&M Manuals as part of the plan review.
 - O&M manual requirements:
 - Owner/operator must conduct a yearly inspection at their stormwater facility, and submit an inspection report to City, noting any issues, improvements, etc.
 - Include inspection forms in the O&M manual.**Acknowledged, this will be submitted with construction plans.**
5. The owner/operator will be required to sign a Stormwater Facility Maintenance Agreement with the City, prior to close out of the project.
Acknowledged, please provide a copy of the agreement for the developer's attorney to review.

6. The engineer must be onsite during the construction to ensure that the site is abiding by the approved plans.
We request this condition revised to state the owner to provide third party special inspection of the erosion and sediment control. Inspection to be conducted at a frequency as required by MDNR Stormwater Construction Permit.
7. The stormwater swale next to the road is listed as a 3:1 slope, this will cause the bank to erode easily and create issues for mowing.
Due to the large right of way width that would be required the developer has decided to use curb and gutter for all sections of roadway.

Public Works Division

1. Easements for sanitary and storm sewers not shown on Preliminary Plat or Civil Plans.
Easements have been added.
2. Half street improvements for subdivision frontage (entire frontage) not shown on Preliminary Plat or Civil Plans.
Half street improvement details have been included in plans to add curb & gutter, minor street widening to provide 12' pavement lane from centerline of street and to add sidewalk along Ajax along the length of development. Along the street frontage of Pear, a storm water drainage ditch has been added. A note has been added to the plans that the proposed improvements along Ajax will be constructed with the final phase as was previously discussed with the City prior to the developer purchasing the property.
3. Phasing of Platting or construction not shown on Preliminary Plat or Civil Plans (this will impact sanitary sewer and stormwater infrastructure progression along with areas of land disturbance and emergency service accessibility).
Phases have been added to the preliminary plat.
4. Larson property will need to be included in Preliminary Plat for rights of way/utility easement dedication along with Civil design for streets, sidewalks and entrances (showing existing entrance closed on Pear Street and ditch re-established along with storm water infrastructure).
The Larson property has been added to the Preliminary Plat.
5. A letter/property layout plan will need to be submitted detailing the decision to offset new street from existing street (S 31st Street) on the south side of Pear Street.
Mark Larsen has stated to us that he desires for his property to be equally divided to allow the existing building to remain as is with a 15' setback from the right of way thus allowing for as large of a lot as possible on the east side of the proposed street.
6. Minor traffic study will be required due to the planned multi-family units for the new entrance to Pear Street.
The Minor Traffic Study is included with this letter.
7. Tracts should be labeled Greenway, Storm Water and Utility Easements.
Tract A will be a Storm Water Tract. It has been labeled. Everything else has been labeled with lot number.
8. Sanitary Sewer line needs to extend from MH A-8 to Pear Street rights of way.
Sanitary sewer has been extended, however we asked for explanation as to reason for requiring the extension since only the two lots on the Larsen property can be served by this line, this puts the manhole at the top of hill and the lots on the south side of Pear already have existing sewer service.
9. Show approximate locations of detention pond overflow weirs and discharge piping along with grading of channels directing water away from adjacent property owners to the west side of the development.
Preliminary detention pond outfalls have been added to the plans. A proposed drainage easement has been shown on the property to the north and the development has discussed this with the property owner to the north. An easement will be obtained with the construction plans.



10. A condition of approval will be that the engineer of record will be on site during all construction to verify and record that approved plans are being built to specification and that permitted land disturbance BMP's are maintained properly throughout construction and repaired as needed until 100% of ground cover has been restored to the site.

We request this condition revised to state the owner to provide third party special inspection of the erosion and sediment control. Inspection to be conducted at a frequency as required by MDNR Stormwater Construction Permit.

11. It is noted that an environmental roadway section will be used through a portion of this subdivision, add a typical driveway entrance with piping through the ditch sections within the areas of effected lots.

These sections of roadway have been removed from the plans All roadway to be per City standard cross sections.

If you have any additional questions or comment do not hesitate to contact me.

Thank you,
SNYDER & ASSOCIATES, INC.

Shawn Duke, PE
Project Manager/Engineer

LEGAL DESCRIPTION:
 LOT FOURTEEN (14), FINAL PLAT, TIMBER CREEK PLAT 1, A MAJOR SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI
 LOT FIFTEEN (15), FINAL PLAT, TIMBER CREEK PLAT 1, A MAJOR SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI EXCEPT THAT PART DEDICATED AS TIMBER CREEK PLAT 2A IN PLAT NUMBER 11 AT PAGE 71 OF OFFICIAL RECORDS OF BUCHANAN COUNTY, MISSOURI
 1/2 STREET IMPROVEMENT
 TO BE COMPLETE WITH
 FINAL PHASE
 ALL THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57), RANGE THIRTY-FIVE (35), DESCRIBED AS FOLLOWS BEGINNING ON THE NORTH 1/4 CORNER OF THE STATE HIGHWAY 88 WHICH RUN EAST AND WEST TO THE EAST 1/4 CORNER OF THE SOUTHWEST QUARTER SECTION AT A POINT 58.36 FEET MEASURED ALONG THE NORTH LINE OF THE STATE HIGHWAY, OF THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, RUNNING NORTH PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 26.94 FEET, RUNNING THENCE EAST ALONG THE NORTH LINE OF A TRACT CONVEYED TO GEORGE C. MITTER AND WIFE, BY A DEED RECORDED IN BOOK 182 AT PAGE 623 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, THENCE ALONG THE WEST LINE OF SAID TRACT A DISTANCE OF 26.94 FEET TO THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 26.94 FEET TO THE STATE HIGHWAY, THENCE WEST ALONG THE NORTH LINE OF SAID STATE HIGHWAY 88 75 FEET TO THE POINT OF BEGINNING. ALSO, A TRACT OF LAND PART OF THE SOUTH 1/4 CORNER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57), RANGE THIRTY-FIVE (35), BUCHANAN COUNTY, MISSOURI, AND DESCRIBED AS FOLLOWS BEGINNING AT A POINT ON THE NORTH LINE OF U.S. HIGHWAY 88 THAT IS 65.5 FEET NORTH OF 100 FEET EAST OF THE SOUTH 1/4 CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, THENCE ALONG SAID NORTH LINE OF U.S. HIGHWAY 88, 9.88' S 89° 52' E, 53.13 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID BOUNDARY 10.68' S 89° 52' E 120.2 FEET, THENCE, TO THE SOUTH 1/4 CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, A DISTANCE OF 58.36 FEET, BY SAID DEED RECORDED IN BOOK 182 AT PAGE 623 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, THENCE ALONG THE WEST LINE OF SAID TRACT A DISTANCE OF 26.94' W 282.87 FEET MORE OR LESS TO THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO FRED BOLD AND WIFE ROSE, BY A DEED IN BOOK 183 AT PAGE 318 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, THENCE ALONG SAID SOUTH LINE OF SAID TRACT A DISTANCE OF 100 FEET TO A POINTS 87° 41' 22" E, 38.54 FEET TO THE NORTHEAST CORNER OF A TRACT OF LAND CONVEYED TO HOWARD G. HARKINS BY DEED RECORDED IN BOOK 740 AT PAGE 246 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, THENCE S 81° 46' 28" W 285.16 FEET TO THE TRUE POINT OF BEGINNING.

LEGAL DESCRIPTION:
LOT FOURTEEN (14), FARMACAT, TOWNSHIP SEVENTY-SEVEN (77) NORTH, SUBDIVISION IN THE SOUTHWEST QUARTER
SECTION TWENTY-TWO (22), TOWNSHIP SEVENTY-FIVE (75) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST.
BUCHANAN, BUCHANAN COUNTY, MISSOURI;
AND TRACT TWO (2), FIFTH PLAT, A MAJOR SUBDIVISION IN THE SOUTHWEST QUARTER OF
SECTION TWENTY-TWO (22), TOWNSHIP SEVENTY-FIVE (75) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST.
BUCHANAN, BUCHANAN COUNTY, MISSOURI; AND TRACT ONE (1), SECOND CREEK PLAT, A PLAT
PLAT #1 AT PAGE 71 OF OFFICIAL RECORDS OF BUCHANAN COUNTY, MISSOURI;

ALL THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22),
TOWNSHIP SEVENTY-FIVE (75) NORTH, RANGE THIRTY-FIVE (35), DESCRIBED AS FOLLOWS: BEGINNING ON THE NORTH
WEST CORNER OF SAID SOUTHWEST QUARTER SECTION TWENTY-TWO (22), ALONG THE NORTH LINE OF SAID
QUARTER SECTION AT A POINT 586.36 FEET EAST MEASURED ALONG THE NORTH LINE OF THE STATE HIGHWAY,
OF THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, RUNNING
NORTH 0° 0' 0" EAST ALONG THE WEST LINE OF SAID QUARTER SECTION TO THE POINT OF BEGINNING, 199.49
FEET, RUNNING THENCE EAST ALONG THE NORTH LINE OF A TRACT CONVEYED TO GEORGE C. MINTER AND
WIFE ROBERTA L. MINTER BY DEED RECORDED IN BOOK 763 AT PAGE 221 OF THE OFFICE OF THE RECORDER OF DEEDS FOR
TO THE WEST LINE OF SAID QUARTER SECTION AT A DISTANCE OF 239.84 FEET TO THE STATE HIGHWAY,
THENCE WEST ALONG THE NORTH LINE OF SAID STATE HIGHWAY A DISTANCE OF 7.37 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 89° 50' 0" WEST ALONG THE WEST LINE OF SAID QUARTER SECTION TWENTY-TWO (22), TOWNSHIP SEVENTY-FIVE (75)
RANGE THIRTY-FIVE (35), BUCHANAN COUNTY, MISSOURI, TO THE POINT OF BEGINNING, 199.49 FEET, BEING
THAT IS 65.5 FEET NORTH AND 400 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF
SAID SECTION TWENTY-TWO (22), TOWNSHIP SEVENTY-FIVE (75) NORTH, RANGE THIRTY-FIVE (35), BUCHANAN COUNTY,
MISSOURI, BEING 199.49 FEET, 58.54 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID NORTH LINE, 3.68'
58' 50" E 102.12' N, MORE OR LESS, TO THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO ROBERT
C. HAWKINS BY DEED RECORDED IN BOOK 763 AT PAGE 221 OF THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN
COUNTY, MISSOURI, THENCE ALONG THE WEST LINE OF SAID SAID TRACT, "HARD 0° 0' 0" EAST ALONG THE WEST LINE
OF SAID TRACT, 199.49 FEET, BEING 199.49 FEET, 58.54 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING
ALONG SAID NORTH LINE, 3.68' 58' 50" E 102.12' N, MORE OR LESS, TO THE SOUTHWEST CORNER OF A TRACT OF LAND
CONVEYED TO ROBERT C. HAWKINS BY WIFE ROBERTA L. HAWKINS BY DEED RECORDED IN BOOK 763 AT PAGE 221 OF THE
OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, BEING 199.49 FEET, 58.54 FEET TO THE



VICINITY MAP
NOT TO SCALE

OWNER / APPLICANT
MIDLAND CONSTRUCTION
SERVICES, LLC
108 N 2ND ST
GOWER, MO 64454

ENGINEER
SNYDER & ASSOCIATES, INC.
SHAWN DUKE, PE
802 FRANCIS STREET
ST. JOSEPH, MO 64501

MAR-06	REVISION	DATE	BY
ENGRG: SD	Checked By: SD	Scale: 1" = 20'	
Technician: J3	Date: 03/26/2002	F.R.S.: ----	

Sheel C1.0

Srinivas & Associates Engineers & Planners, Inc.
 Madurai - State Capital of Authority



SHAWN DUKE - ENGINEER
MO PE#2013006488

ST. JOSEPH, MO
802 FRANCIS STREET
ST. JOSEPH, MISSOURI 64501
916-364-5322 | www.anyde--asscodates.com

SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

TIMBER CREEK PLAT 3



Project No: 121.0275.11
Sheet C1.0

PRELIMINARY CONSTRUCTION PLANS FOR TIMBER CREEK PLAT 3 CITY OF ST. JOSEPH, MISSOURI



VICINITY MAP



INDEX TO SHEETS

- C1.0 TITLE SHEET
- C2.0 EXISTING CONDITIONS
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0-C5.4 ROAD PLAN AND PROFILES
- C6.0-C6.5 SANITARY SEWER PLAN AND PROFILES
- C7.0 TYPICAL STREET DETAILS



UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.

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TIMBER CREEK PLAT 3

TITLE SHEET

SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.




SNYDER & ASSOCIATES

Project No: 121.0275.11

Sheet C1.0



LEGEND:

- ■ PROPOSED STORM SEWER
- ■ PROPOSED SANITARY SEWER
-  ■ PROPOSED WATER LINE

PROPOSED SIDEWALK, CURB &
GUTTER, AND PAVEMENT WIDENING TO
BE CONSTRUCTED WITH FINAL PHASE

14.0' BACK OF CURB
TO CENTERLINE

TRACT A
(STORM WATER DETENTION)

TIMBER CREEK PLAY

THERMAL STABILITY

TRACE 4



MARK	REVISION	DATE	BY
Engineer: SD	Checked By: SD	Scale: 1" = 100'	
Inspector: JD	Date: 03/25/2022	T&S: —	

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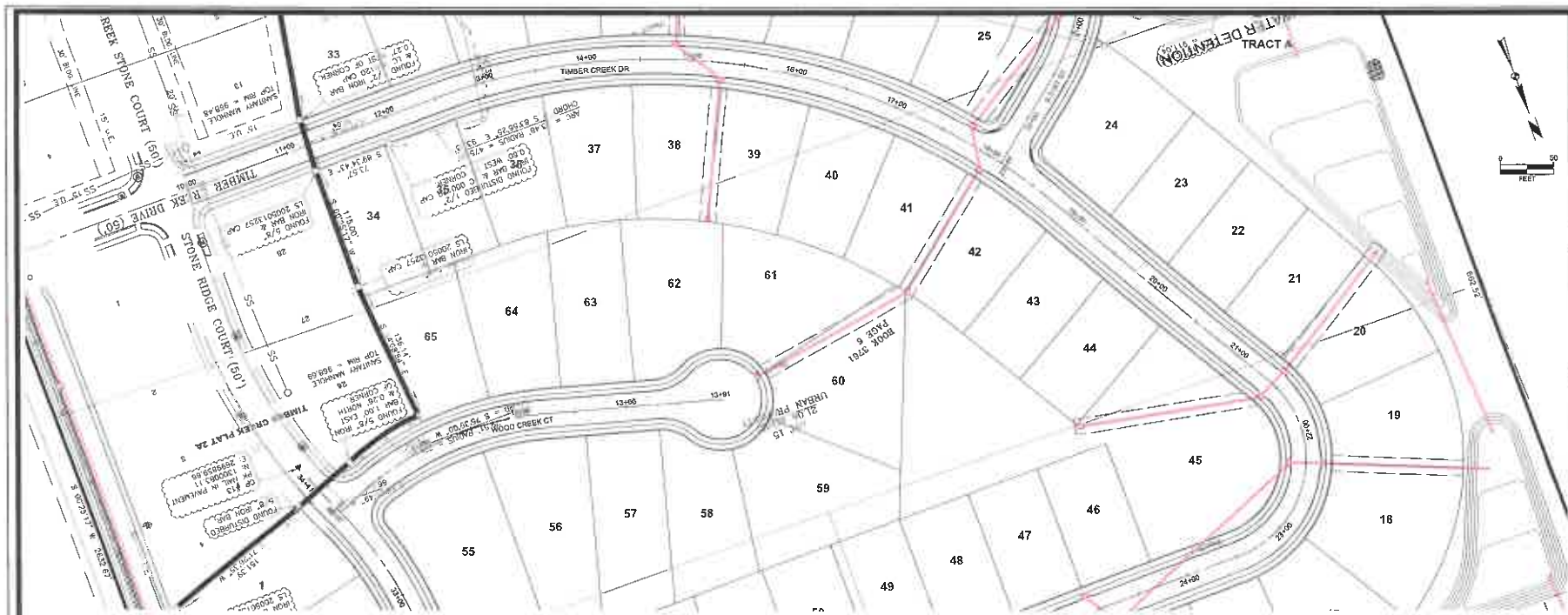
TIMBER CREEK PLAT 3

UTILITY PLAN

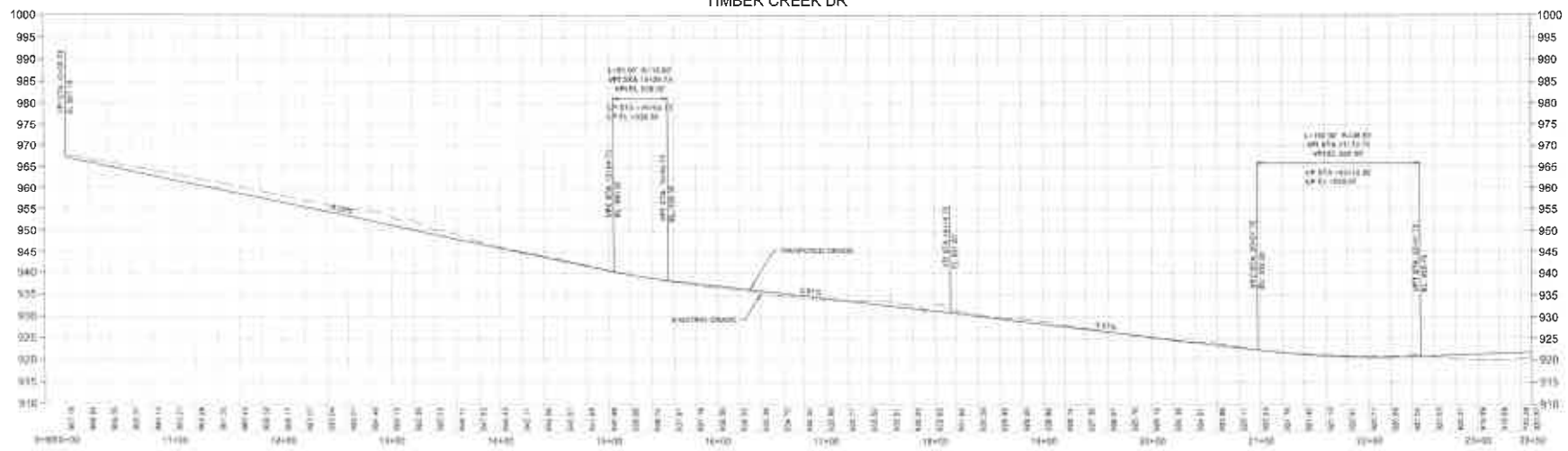
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TIMBER CREEK DR



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11-14-20		
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03/25/2022	03/25/2022	SD

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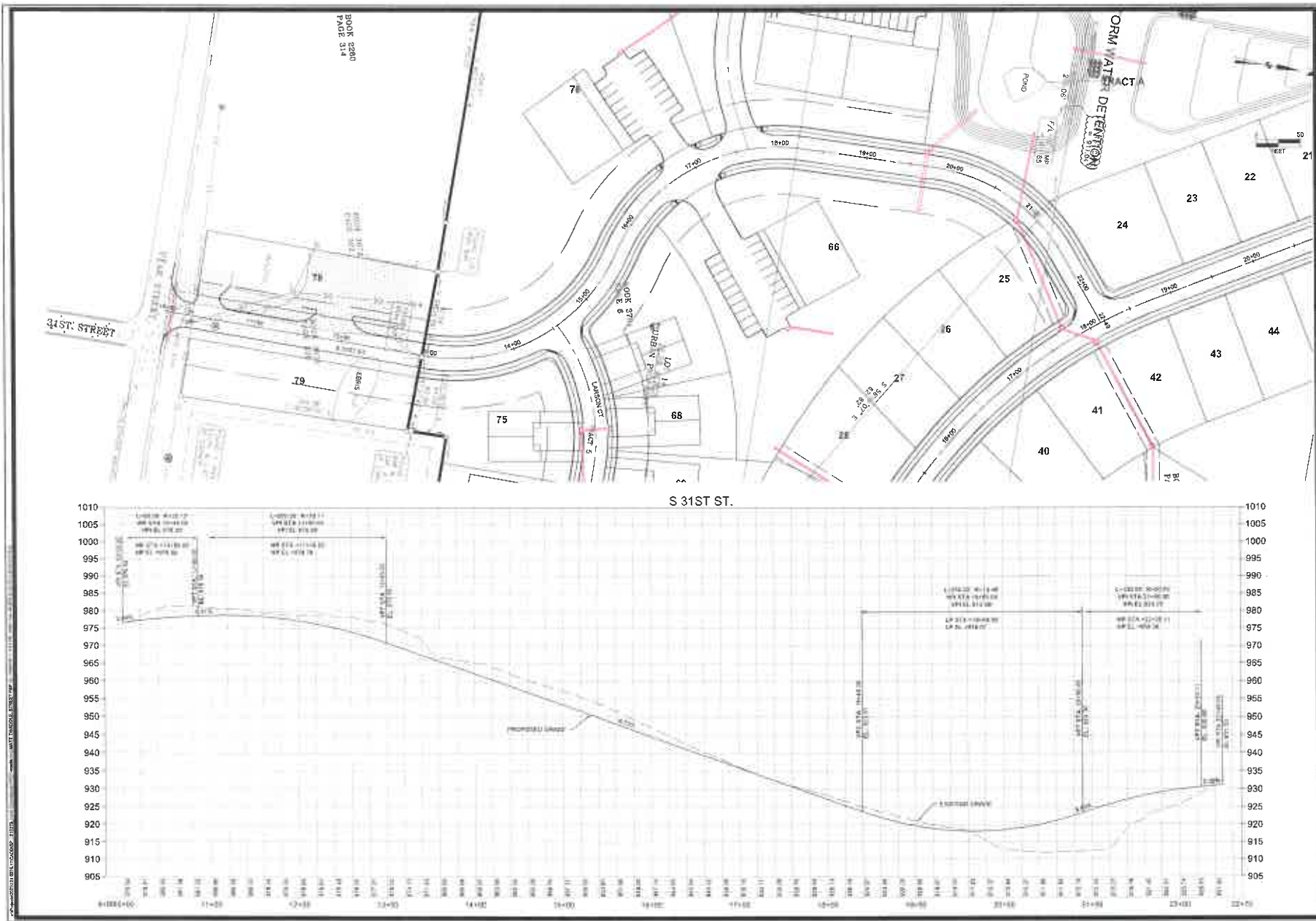
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TIMBER CREEK PLAT 3
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Project No: 121,0275.11
Sheet C5.0

Sheet C5.0



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Reviewed: JS	Date: 03/25/2023	Title: C5.2	
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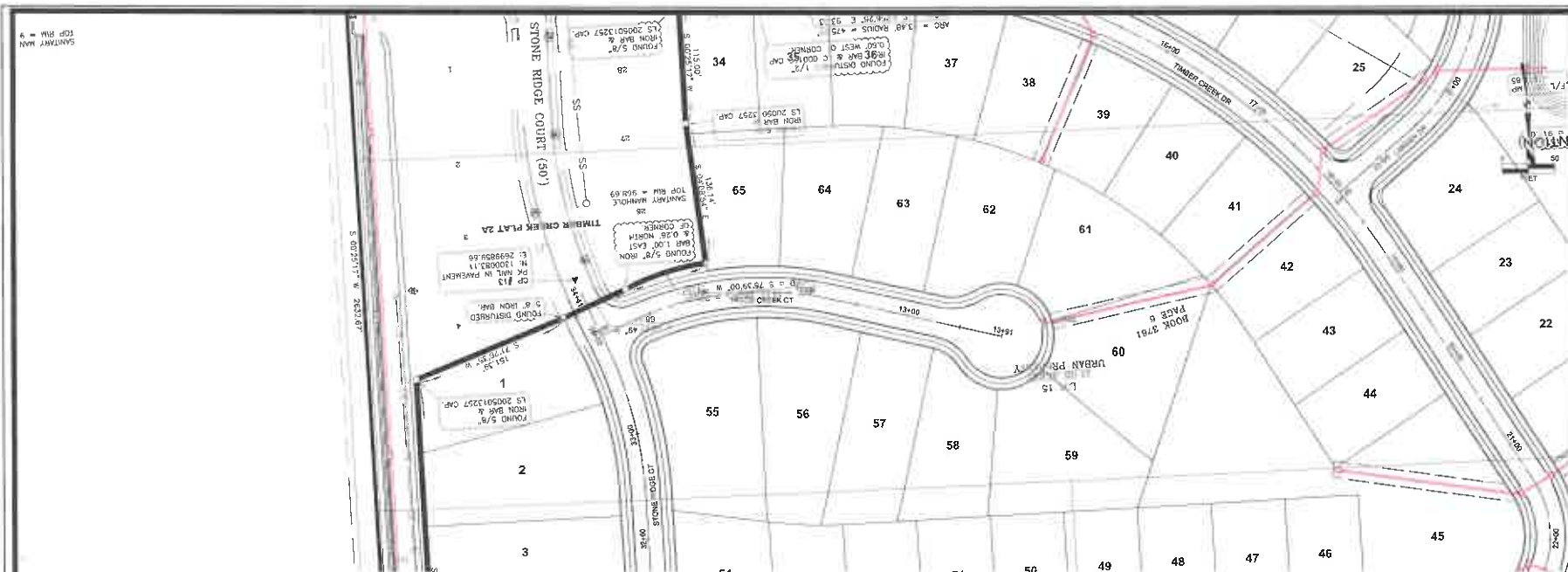


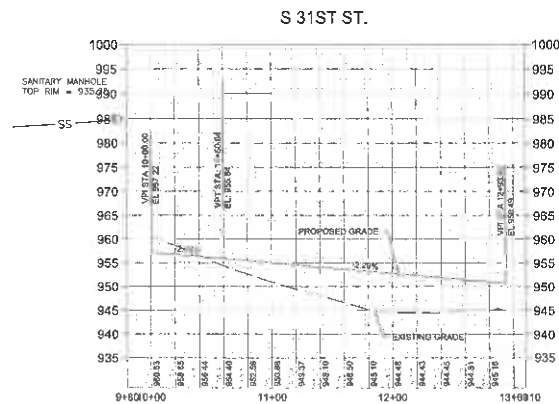
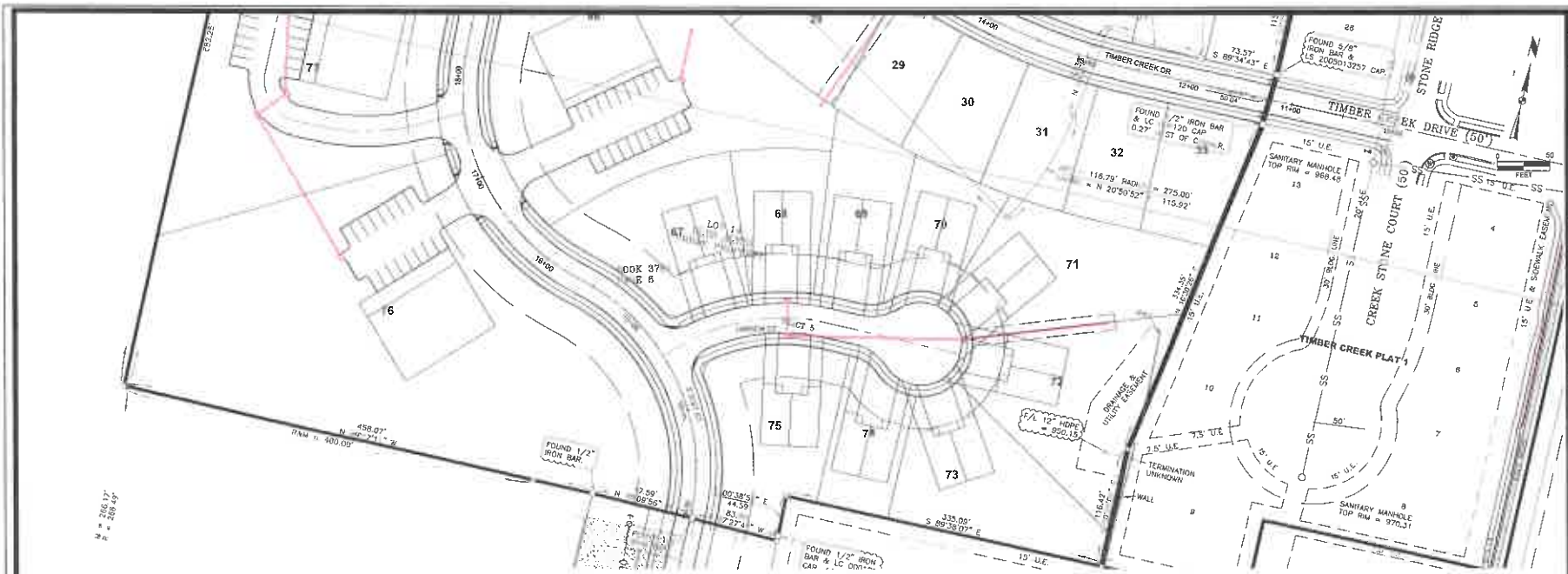
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TIMBER CREEK PLAT 3
ROAD PLAN AND PROFILES
SNYDER & ASSOCIATES
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Project No: 121.0275.11
 Sheet C5.2





REVISION	DATE	BY
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2	03/05/2022	JS



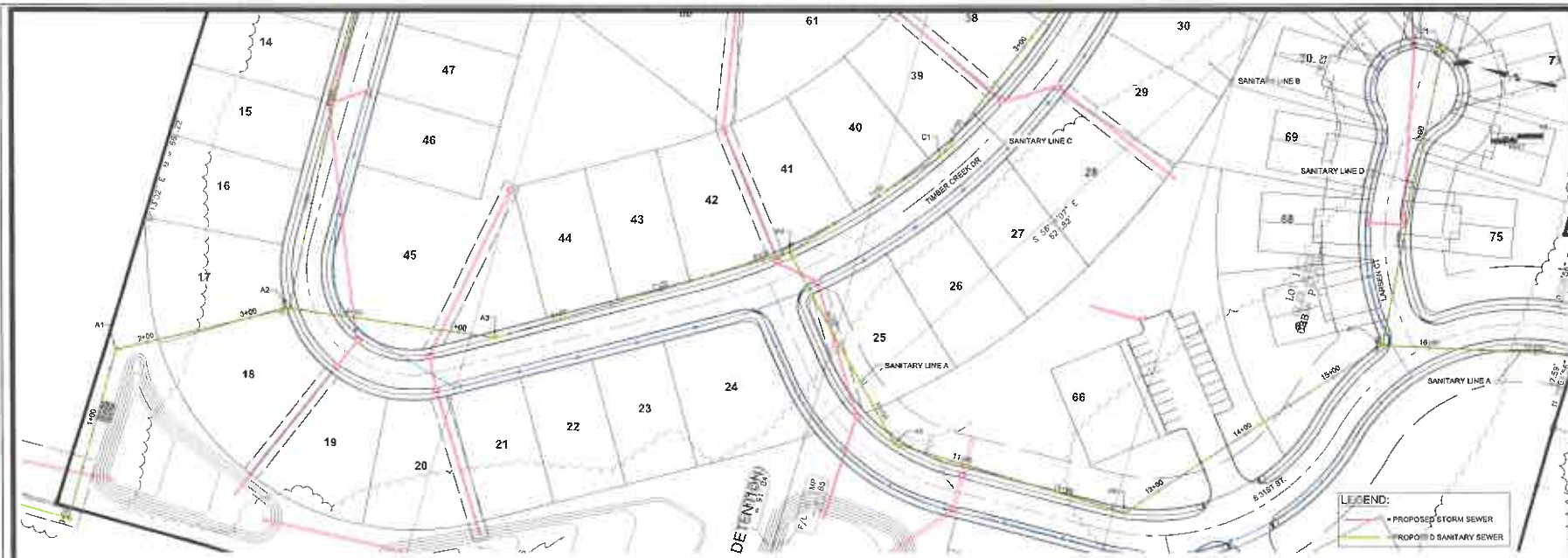
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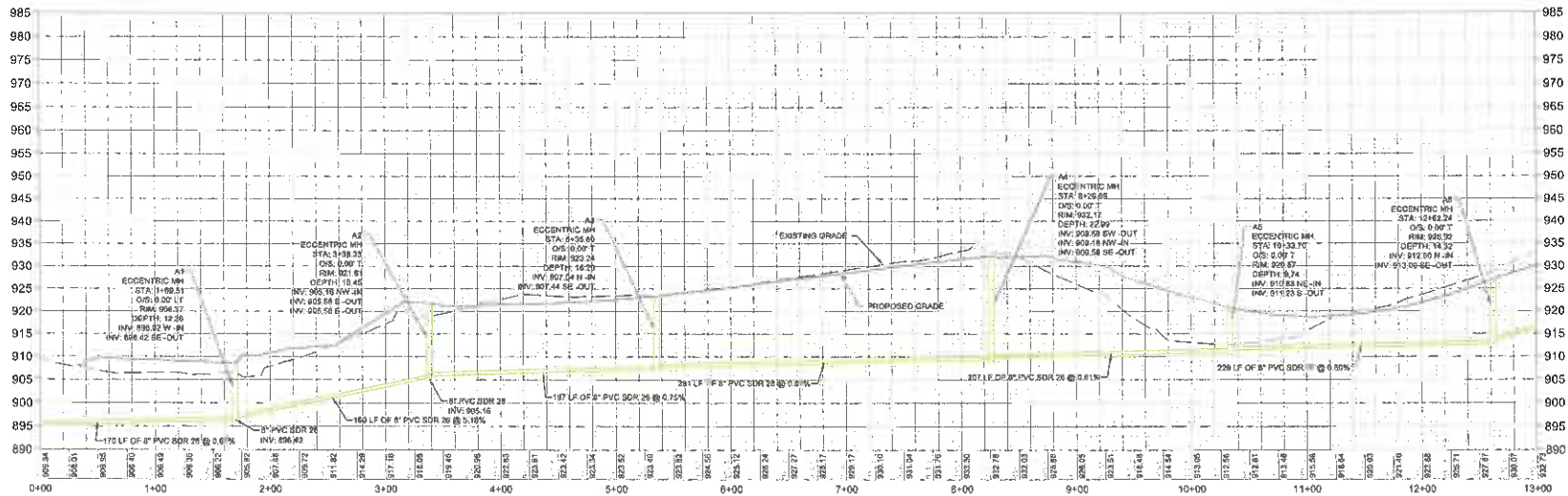
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Project No: 121.0275.11
Sheet C5.4



SANITARY LINE A



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Engineer: SD	Checked by: SD	Scale: 1" = 40'	87
Trainer: JS	Date: 03/25/2022	Date: 03/25/2022	87
Shaw Duke Engineers & Planners, Inc.			
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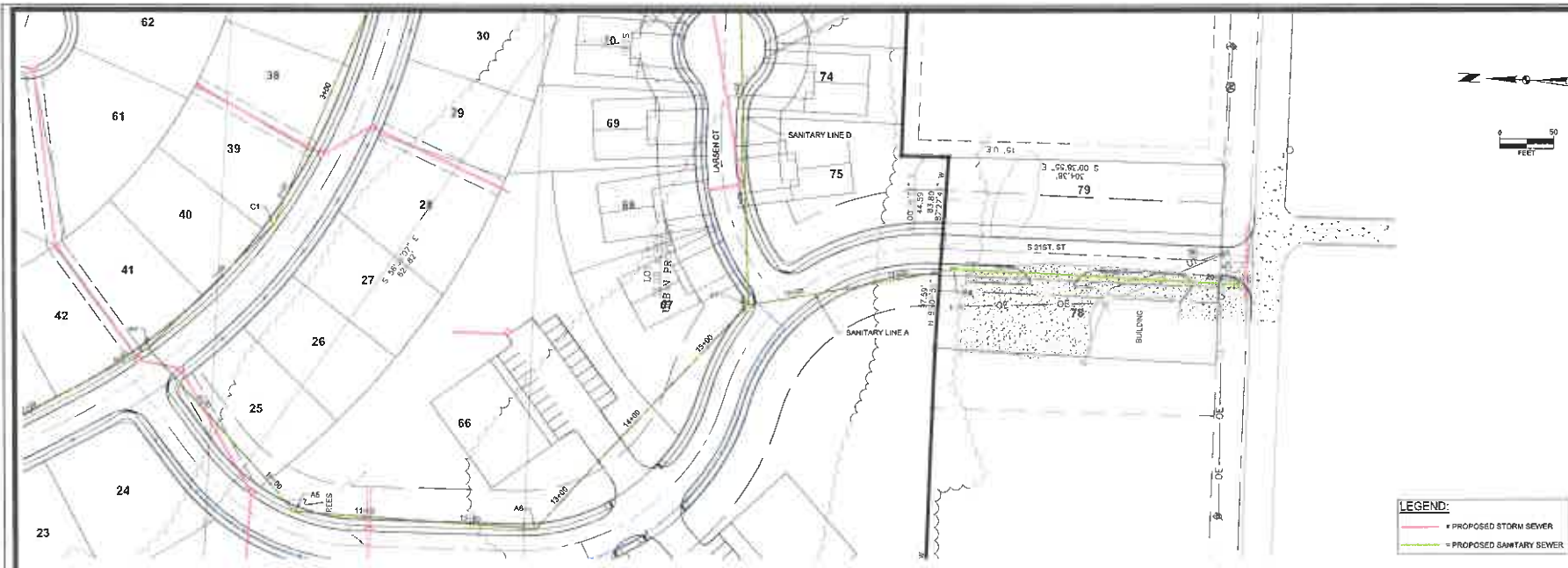
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TIMBER CREEK PLAT 3
SANITARY SEWER PLAN AND PROFILE
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ENGINEERS & PLANNERS, INC.

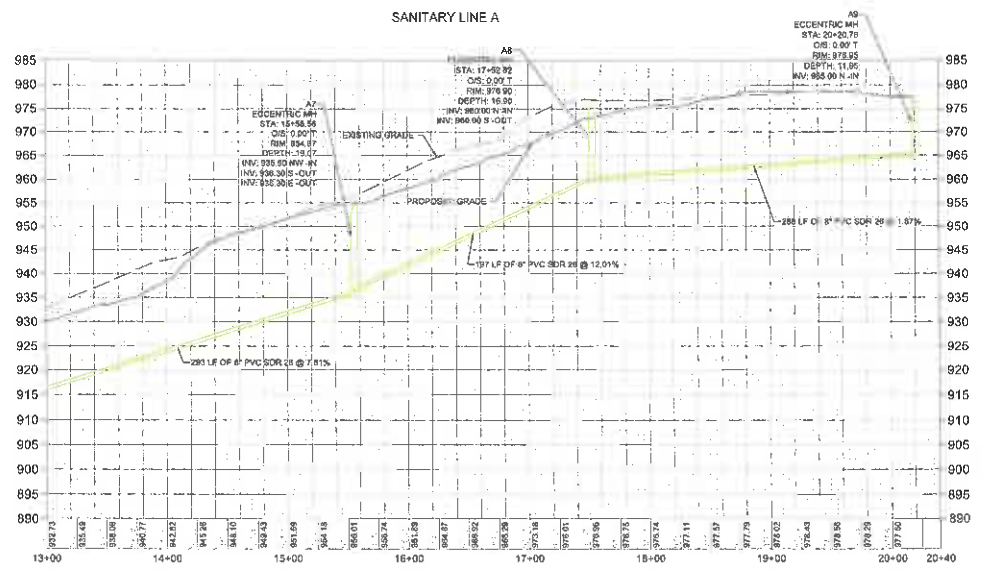


Project No: 121,027.11
Sheet C6.0

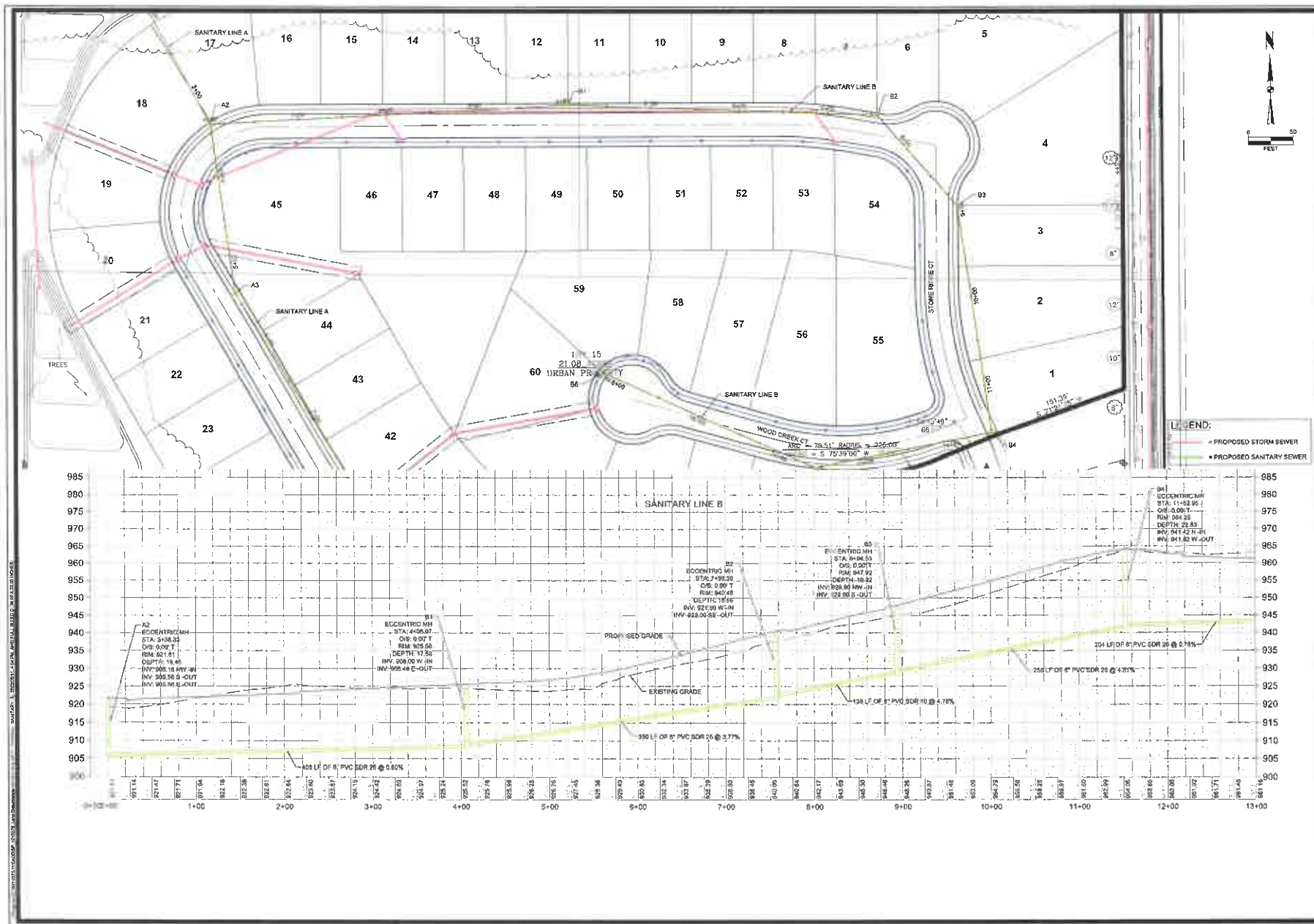


LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER



DATE	BY
02/25/2022	JS
REVISION	SCALE: 1" = 40'
CHANGED BY: SD	DATE: 02/25/2022
ENGINEER: SD	TECHNICIAN: JS
SHAWN DUKE - ENGINEER MO PE2013005489	
TIMBER CREEK PLAT 3 SANITARY SEWER PLAN AND PROFILE SNYDER & ASSOCIATES ENGINEERS & PLANNERS, INC.	
Project No: 121,0275.11 Sheet C6.1	



DATE	01/14/2021
REVISION	NO
Drawn by	SD
Engineer	SD
Checker	JS
Date	01/14/2021
Project	Timber Creek Plat 3
Sheet	C6.2

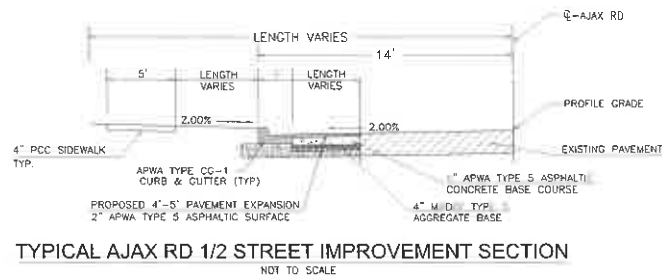
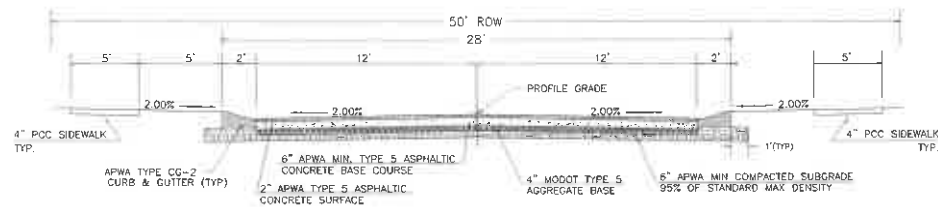
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TIMBER CREEK PLAT 3
SANITARY SEWER PLAN AND PROFILE
SNYDER & ASSOCIATES
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Project No. 121.0275.11
 Sheet C6.2



MSRK	REVISION	DATE	BY
Engineer: SD	Checked by: SD	Scale: 1" = 1/4"	
Technician: JS	Date: 03/26/2022	T-R-S: —	

Sheet C7.0

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TIMBER CREEK PLAT 3

TYPICAL STREET DETAILS

SNYDER & ASSOCIATES
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Project No.	121.0275.11
Sheet	C7.0

TIMBER CREEK PLAT 3 RESIDENTIAL SUBDIVISION

Pear Street Traffic Impact Letter
St. Joseph, MO

St. Joseph, Missouri | May 9, 2022

Prepared for:

Midland Construction Services, LLC
108 N. Second
Gower, MO 64454

Snyder & Associates, Inc. Project No. 121.0275.11

Prepared by:



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Proposed Site Plan	Exhibit 2
Existing (2022) Traffic Diagrams	Exhibit 3
Opening Year (2023) Traffic Diagrams	Exhibit 4
Design Year (2043) Traffic Diagrams.....	Exhibit 5
<i>Synchro 11</i> Output Files	Exhibit 6

INTRODUCTION

Midland Construction Services, LLC is proposing to construct a new residential subdivision on a partly vacant lot, located approximately 760 feet west of the Pear Street and Ajax Road intersection, within the city limits of St. Joseph. This Traffic Impact Letter (TIL) reviews the proposed access from Pear Street to the proposed development and any anticipated traffic impacts from the proposed residential subdivision.

ANALYSIS OF EXISTING CONDITIONS

Pear Street is an undivided two-lane minor suburban roadway. The posted speed limit is 40 mph along the proposed residential subdivision site. There are fifteen (15) existing single-family detached homes on the project site and will be included in the existing traffic conditions since they all access Ajax Road by way of existing Timber Creek Drive. The project site has no existing access to Pear Street, but has one full access along Ajax Road 840 feet north of the intersection with Pear Street. The nearest streets along Pear Street are located at the intersection of 31st Street just on the south side of Pear Street, 30th Street 350 feet to the west, and the intersection of Ajax Road approximately 760 feet to the east. All access to the proposed site comes from the north via Ajax Road, and from the south, east and west via Pear Street.

The study area, as seen in **Exhibit 1**, includes the proposed site in relation to the adjacent parcels. The proposed site is currently zoned “RP-2” and “R-1B”, which are defined as “Planned Two-Family Residential District” and “Detached Single-Family Residential District”. Surrounding land uses are mostly R-1A, R-1B and RP-4, residential, with some C-1 and C-3, commercial, to the south of the project site.

Pedestrian/Transit/Bicycle Accommodations

There are no pedestrian, bicycle or transit specific accommodations on or along Pear Street. The local transit bus (The Ride) has a drop-off location near the intersection of Pear Street and 30th Street, which is serviced once per hour. From field observations, there are very few bicycle and pedestrian users in vicinity of the project site.

Traffic Volumes

AADT traffic data for 2018-2021 was obtained from the Missouri DOT Datazone website for Pear Street near the intersection at 31st Street, the location of the proposed access. Since the counts from 2018-19 were taken prior to the period of COVID-19 pandemic decreased traffic volumes, that data is valid for comparison with projected existing conditions. This historic data was used to calculate the background traffic growth.

Background traffic has minimally increased between 2018 and 2019 and is projected to exhibit a nominal annual increase of 1.01%. The historic, existing year (2022), opening year (2023) and design year (2043) AADT projections for Pear Street in the project area are shown in **Table 1**. The AM and PM estimated peak hour background traffic for the Design Year is shown in **Exhibit 5**.

Table 1: Historic Data and AADT Projections – Pear Street

Year	AADT (veh/day)
2018	5,325
2019	5,379
2022 (projected existing year)	5,543
2023 (projected opening year)	5,599
2043 (projected design year)	6,845

PROPOSED DEVELOPMENT

The proposed improvement, as seen in **Exhibit 2**, is expected to be a residential subdivision encompassing approximately 33 acres. Among the various dwelling types constructed will be single-family homes, two-family duplexes, and multi-family apartments. The site does have an existing access on Ajax Road by the use of Timber Creek Drive, but there is no existing entrance on Pear Street. The subdivision will access Pear Street via a full-access entrance near South 31st Street on the south side of Pear Street. There are no plans for expansion of the facility beyond the boundaries of the existing property lines.

ANALYSIS OF FUTURE CONDITIONS

Trip Generation

Estimated trip generation was calculated using data provided in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The planned land uses for the development were identified as “Single-Family Detached Housing” (ITE Code: 210) with 40 dwelling units as the independent variable, “Single-Family Attached Housing” (ITE Code: 215) with 35 dwelling units, and “Multifamily Housing (Low-Rise)” (ITE Code: 420) with 32 dwelling units as the independent variable. ITE Trip Generation Manual estimates values of 58 trips in the AM Peak Hour and 74 in the PM Peak Hour, as shown in **Table 2**.

Table 2: ITE Estimated Trip Generation, Proposed Residential Subdivision

Land Use	ITE Code	Quantity	Unit	AM Peak				PM Peak			
				Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
Single-family Detached Housing	210	40	Dwelling Units	0.70	28	7	21	0.94	38	24	14
Single-family Attached Housing	215	35	Dwelling Units	0.48	17	5	12	0.57	20	11	9
Multifamily Housing (Low-Rise)	220	32	Dwelling Units	0.40	13	3	10	0.51	16	10	6
Total					58	15	43		74	45	29

TRIP DISTRIBUTION

Given the project site’s location near the intersection of Pear Street and Ajax Road, and existing traffic characteristics, the following assumptions are made for trip distribution:

- All residential traffic coming to the subdivision from the south will approach the site from the entrance on Pear Street. That same traffic will exit in the opposite direction of travel.
- All other residential traffic, approaching from the north via Ajax Road, will use the existing Timber Creek Street on Ajax Road to enter and exit the site.
- With existing traffic patterns showing much more travel along Pear Street, 79% of the traffic heads south of the project location, and east or west on Pear Street, while the remaining 21% heads north on Ajax Road to the more residential areas. Therefore, proposed development-created traffic will be distributed as such. **Table 3** shows the estimated number of trips generated by the development that

use the existing Timber Creek Drive at Ajax Road entrance. **Table 4** depicts the estimated number of trips generated that access the subdivision via the proposed Pear Street at South 31st Terrace entrance.

Table 3: ITE Estimated Trip Generation, Timber Creek Drive at Ajax Road

Land Use	ITE Code	Quantity	Unit	AM Peak				PM Peak			
				Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
Single-family Detached Housing	210	29	Dwelling Units	0.70	20	5	15	0.94	27	17	10
Single-family Attached Housing	215	13	Dwelling Units	0.48	6	2	4	0.57	7	4	3
Total					26	7	19		34	21	13

Table 4: ITE Estimated Trip Generation, Pear Street at South 31st Terrace

Land Use	ITE Code	Quantity	Unit	AM Peak				PM Peak			
				Rate	Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
Single-family Detached Housing	210	11	Dwelling Units	0.70	8	2	6	0.94	10	6	4
Single-family Attached Housing	215	22	Dwelling Units	0.48	11	3	8	0.57	13	7	6
Multifamily Housing (Low-Rise)	220	32	Dwelling Units	0.40	13	3	10	0.51	16	10	6
Total					32	8	24		39	23	16

Since many estimated new trips to and from the site are using Pear Street, new trips and volumes along Pear Street were evaluated at the intersection of Pear Street and the proposed entrance (tentatively named South 31st Terrace). To determine the magnitude of change imparted to this intersection from the proposed development. Existing traffic distribution is shown in **Exhibit 3**. Estimated trip distribution for the proposed site improvements, new peak hour trip turning movement volumes, and total peak hour turning movement traffic forecasts with the planned development are shown in **Exhibit 4** (Opening Year) and **Exhibit 5** (Design Year).

TRAFFIC OPERATIONS ANALYSIS

Given intersection capacity analyses were completed for Existing Conditions, Opening Year (2023), and Design Year (2043) traffic at the study intersections of South 31st Terrace and Ajax Road at Pear Street. Analyses were conducted for the AM and PM peak hours. These analyses were performed using *Synchro 11* software and methods for signalized intersections and *Highway Capacity Manual 6th Edition (HCM 6th)* methods for unsignalized intersections. **Table** shows the Level of Service (LOS) criteria for determining operational performance. LOS A provides the least delay, and LOS F provides the most delay. Typically, LOS D is the minimum acceptable LOS for urban intersection approaches. However, LOS E-F is not unusual for stop controlled minor street or driveway approaches to higher volume arterial streets during peak hours.

Table 5. Level of Service (LOS) Definition

LOS	Average Delay per Vehicle (seconds)	
	Signalized Intersection	Unsignalized Intersection
A	< 10	< 10
B	10 to 20	10 to 15
C	20 to 35	15 to 25
D	35 to 55	25 to 35
E	55 to 80	35 to 50
F	> 80 or V/C > 1.0	> 50 or V/C > 1.0

V/C = Volume to Capacity Ratio

Table 6 summarizes the *Synchro 11* and *HCM 6th Edition* analysis results with existing geometry and traffic control without the proposed development, and with the proposed development in the Opening Year (2023) and Design Year (2043), during both the AM and PM peak hours. With Existing Conditions traffic, The Pear Street at South 31st Terrace intersection was not analyzed since it does not exist, but the Pear Street at Ajax Road intersection average delay encountered is 2.2 seconds per vehicle in the AM Peak and 1.8 seconds per vehicle during the PM Peak. During the Opening Year, the Pear Street at Ajax Road intersection experiences average delays of 2.3 and 1.9 seconds per vehicle during the AM and PM Peaks, respectively. The proposed Pear Street at South 31st Terrace intersection's delays are in the 0.5-0.7 seconds per vehicle range. In the Design year, similar acceptable operations (2.4 & 2.2 seconds for Pear Street at Ajax Road and 0.7 & 0.5 seconds for Pear Street at South 31st Terrace average delays) are projected.

Table 6. *Synchro 11* and *HCM 6th* Analysis Results

Scenario	Intersection	Control Type	AM Peak		PM Peak	
			Avg Delay (sec)	LOS	Avg Delay (sec)	LOS
Existing Conditions (2022)	Pear St & Ajax Road	TWSC	2.2	A	1.8	A
Opening Year (2023)	Pear St & South 31 st Terr	TWSC	0.7	A	0.5	A
	Pear St & Ajax Road	TWSC	2.3	A	1.9	A
Design Year (2043)	Pear St & South 31 st Terr	TWSC	0.7	A	0.5	A
	Pear St & Ajax Road	TWSC	2.4	A	2.2	A

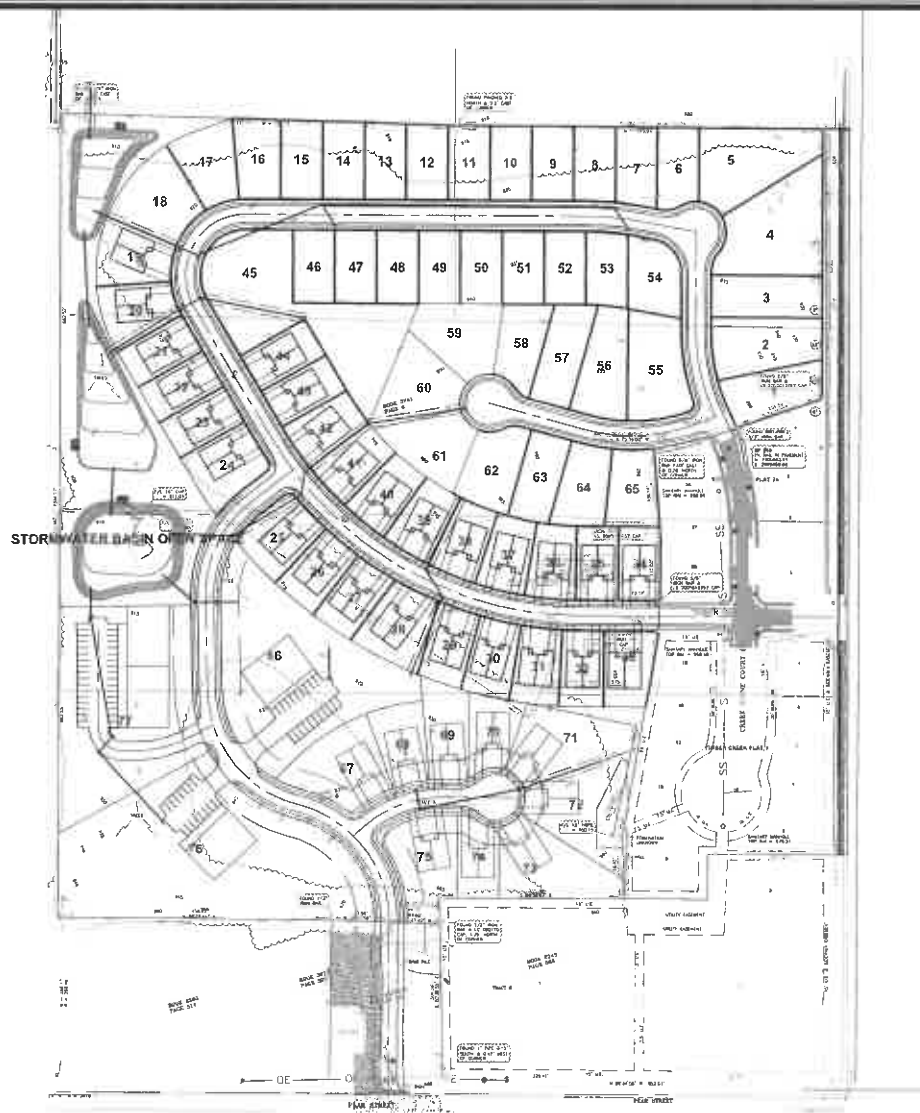
CONCLUSIONS AND RECOMMENDATIONS

The construction of the proposed Residential Subdivision will result in a minimal increase in overall traffic volume from site-generated trips on Pear Street during the opening year (2023). These additional trips are well within the existing capacity of Pear Street and only increases the current average delay by 0.1 seconds/vehicle, while not reducing from the existing LOS A. Given the amount of existing traffic traveling the Pear Street corridor, the turning radii of the Pear Street at Ajax Road intersection and proposed Pear Street at South 31st Terrace entrance will be sufficient to handle the increase of traffic and is acceptable for any turning needs generated by the new Residential Subdivision. Looking further into the future design year (2043), the proposed Residential Subdivision's generated trips will only increase the average delays by another 0.1-0.3 seconds/vehicle, still remaining a solid LOS A. All existing intersection geometrics are adequate to accommodate the addition of the Residential Subdivision traffic.

APPENDIX A



70



Project No. 121.0275.11
Sheet C3.0

TIMBER CREEK
PRELIMINARY PLAT
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS INC.
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802 FRANKLIN STREET
ST. JOSEPH, MISSOURI 64501
816-944-2222 | WWW.SNYDER-ASSOCIATES.COM

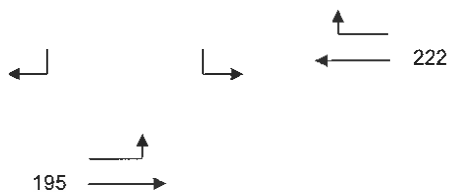
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71	12/10/2011	SD

Sheet C3.0

Existing Peak Hour Traffic

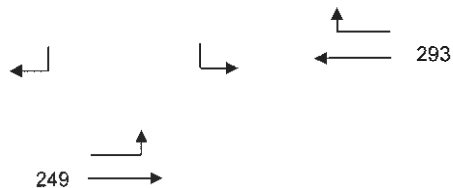
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

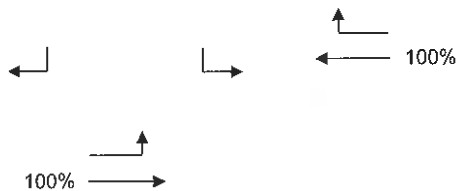
Pear St & S 31 St Terr



Existing Trip Distribution

AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr

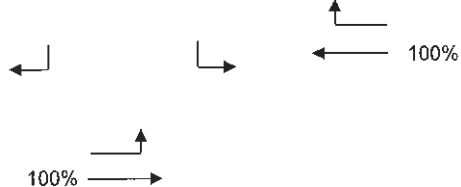
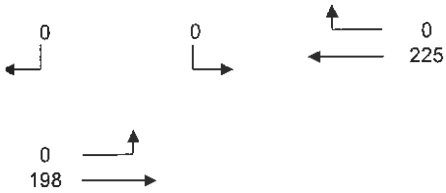


Exhibit 3: Existing (2022) Traffic Volumes

Opening Year Background Traffic

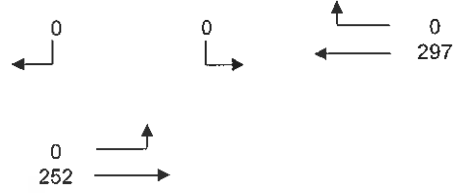
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

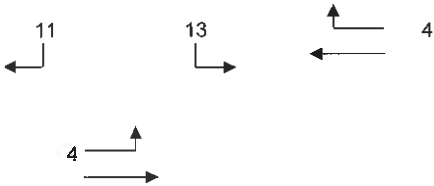
Pear St & S 31 St Terr



Opening Year Peak Hour New Trips

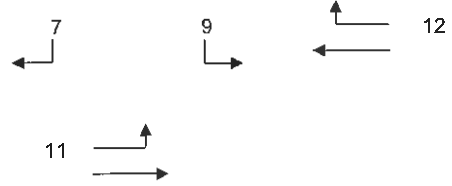
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr



Trip Generation

Entering 8
Exiting 24

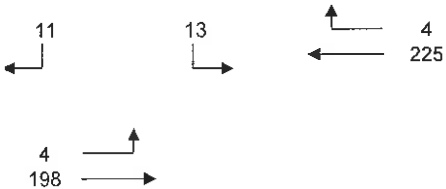
Trip Generation

Entering 23
Exiting 16

Opening Year Peak Hour Total Traffic

AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr

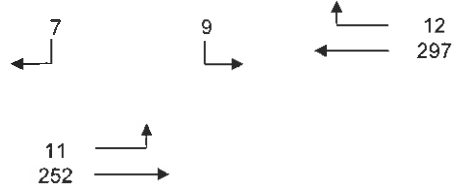
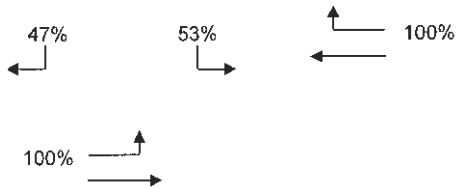


Exhibit 4: Opening Year (2023) Traffic Volumes

Design Year Trip Distribution

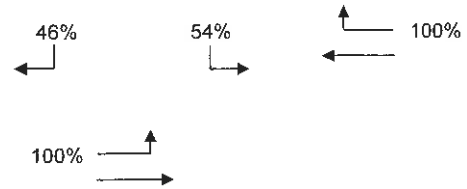
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

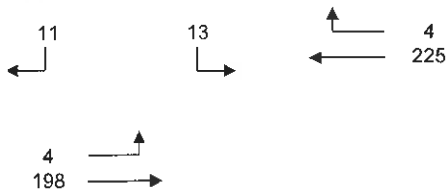
Pear St & S 31 St Terr



Design Year Background Traffic

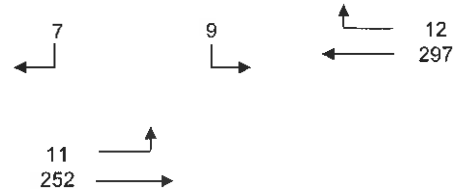
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

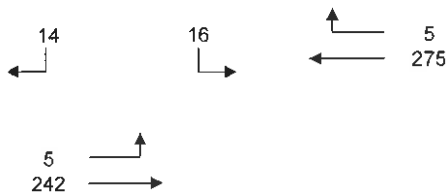
Pear St & S 31 St Terr



Design Year Peak Hour Traffic

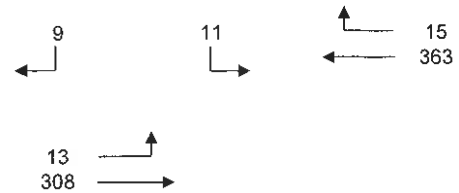
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr



Pear St Annual Growth Rate 1.0%
Growth Factor 2023 - 2043 1.2226



Exhibit 5: Design Year (2043) Traffic Volumes

Intersection												
Int Delay, s/veh	2.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		+			+			+			+	
Traffic Vol, veh/h	22	169	4	8	205	33	5	8	35	14	7	12
Future Vol, veh/h	22	169	4	8	205	33	5	8	35	14	7	12
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	24	184	4	9	223	36	5	9	38	15	8	13

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	259	0	0	188	0	0	504	511	186	517	495	241
Stage 1	-	-	-	-	-	-	234	234	-	259	259	-
Stage 2	-	-	-	-	-	-	270	277	-	258	236	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1311	-	-	1392	-	-	480	467	859	470	477	800
Stage 1	-	-	-	-	-	-	771	713	-	748	695	-
Stage 2	-	-	-	-	-	-	738	683	-	749	712	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1311	-	-	1392	-	-	456	454	859	433	464	800
Mov Cap-2 Maneuver	-	-	-	-	-	-	456	454	-	433	464	-
Stage 1	-	-	-	-	-	-	756	699	-	733	689	-
Stage 2	-	-	-	-	-	-	712	678	-	693	698	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.9	0.2	10.6	12.3
HCM LOS			B	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	692	1311	-	-	1392	-	-	529
HCM Lane V/C Ratio	0.075	0.018	-	-	0.006	-	-	0.068
HCM Control Delay (s)	10.6	7.8	0	-	7.6	0	-	12.3
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.2	0.1	-	-	0	-	-	0.2

Intersection												
Int Delay, s/veh	1.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	237	7	13	281	30	9	7	11	33	8	3
Future Vol, veh/h	5	237	7	13	281	30	9	7	11	33	8	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	5	258	8	14	305	33	10	8	12	36	9	3





Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	338	0	0	266	0	0	628	638	262	632	626	322
Stage 1	-	-	-	-	-	-	272	272	-	350	350	-
Stage 2	-	-	-	-	-	-	356	366	-	282	276	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1227	-	-	1304	-	-	397	396	779	394	402	721
Stage 1	-	-	-	-	-	-	736	686	-	669	635	-
Stage 2	-	-	-	-	-	-	664	624	-	727	684	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1227	-	-	1304	-	-	383	389	779	377	395	721
Mov Cap-2 Maneuver	-	-	-	-	-	-	383	389	-	377	395	-
Stage 1	-	-	-	-	-	-	732	683	-	666	627	-
Stage 2	-	-	-	-	-	-	643	616	-	704	681	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.2	0.3	12.9	15.4
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	485	1227	-	-	1304	-	-	393
HCM Lane V/C Ratio	0.061	0.004	-	-	0.011	-	-	0.122
HCM Control Delay (s)	12.9	7.9	0	-	7.8	0	-	15.4
HCM Lane LOS	B	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.4

Intersection





Int Delay, s/veh 0.7

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	4	198	225	4	13	11
Future Vol, veh/h	4	198	225	4	13	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	4	215	245	4	14	12

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	249	0	0 470 247
Stage 1	-	-	- 247 -
Stage 2	-	-	- 223 -
Critical Hdwy	4.11	-	- 6.41 6.21
Critical Hdwy Stg 1	-	-	- 5.41 -
Critical Hdwy Stg 2	-	-	- 5.41 -
Follow-up Hdwy	2.209	-	- 3.509 3.309
Pot Cap-1 Maneuver	1323	-	- 554 794
Stage 1	-	-	- 796 -
Stage 2	-	-	- 816 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1323	-	- 552 794
Mov Cap-2 Maneuver	-	-	- 552 -
Stage 1	-	-	- 794 -
Stage 2	-	-	- 816 -




Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	10.8
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1323	-	-	-	642
HCM Lane V/C Ratio	0.003	-	-	-	0.041
HCM Control Delay (s)	7.7	0	-	-	10.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection												
Int Delay, s/veh	2.3											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	23	171	5	9	207	34	6	9	36	15	8	13
Future Vol, veh/h	23	171	5	9	207	34	6	9	36	15	8	13
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	25	186	5	10	225	37	7	10	39	16	9	14
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	262	0	0	191	0	0	514	521	189	527	505	244
Stage 1	-	-	-	-	-	-	239	239	-	264	264	-
Stage 2	-	-	-	-	-	-	275	282	-	263	241	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1308	-	-	1389	-	-	473	461	855	463	471	797
Stage 1	-	-	-	-	-	-	767	709	-	743	692	-
Stage 2	-	-	-	-	-	-	733	680	-	744	708	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1308	-	-	1389	-	-	448	448	855	425	457	797
Mov Cap-2 Maneuver	-	-	-	-	-	-	448	448	-	425	457	-
Stage 1	-	-	-	-	-	-	751	694	-	727	686	-
Stage 2	-	-	-	-	-	-	705	675	-	685	693	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.9			0.3			10.8			12.5		
HCM LOS							B			B		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	675	1308	-	-	1389	-	-	521				
HCM Lane V/C Ratio	0.082	0.019	-	-	0.007	-	-	0.075				
HCM Control Delay (s)	10.8	7.8	0	-	7.6	0	-	12.5				
HCM Lane LOS	B	A	A	-	A	A	-	B				
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	-	0.2				

Intersection





Int Delay, s/veh 0.5

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	11	252	297	12	9	7
Future Vol, veh/h	11	252	297	12	9	7
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	12	274	323	13	10	8

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	336	0	0 628 330
Stage 1	-	-	- 330 -
Stage 2	-	-	- 298 -
Critical Hdwy	4.11	-	- 6.41 6.21
Critical Hdwy Stg 1	-	-	- 5.41 -
Critical Hdwy Stg 2	-	-	- 5.41 -
Follow-up Hdwy	2.209	-	- 3.509 3.309
Pot Cap-1 Maneuver	1229	-	- 448 714
Stage 1	-	-	- 731 -
Stage 2	-	-	- 755 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1229	-	- 443 714
Mov Cap-2 Maneuver	-	-	- 443 -
Stage 1	-	-	- 722 -
Stage 2	-	-	- 755 -




Approach	EB	WB	SB
HCM Control Delay, s	0.3	0	12
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1229	-	-	-	531
HCM Lane V/C Ratio	0.01	-	-	-	0.033
HCM Control Delay (s)	8	0	-	-	12
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection												
Int Delay, s/veh	1.9											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	6	239	8	14	284	31	10	8	12	34	9	4
Future Vol, veh/h	6	239	8	14	284	31	10	8	12	34	9	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	7	260	9	15	309	34	11	9	13	37	10	4
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	343	0	0	269	0	0	642	652	265	646	639	326
Stage 1	-	-	-	-	-	-	279	279	-	356	356	-
Stage 2	-	-	-	-	-	-	363	373	-	290	283	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1222	-	-	1300	-	-	388	388	776	386	395	718
Stage 1	-	-	-	-	-	-	730	682	-	664	631	-
Stage 2	-	-	-	-	-	-	658	620	-	720	679	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1222	-	-	1300	-	-	372	380	776	367	387	718
Mov Cap-2 Maneuver	-	-	-	-	-	-	372	380	-	367	387	-
Stage 1	-	-	-	-	-	-	725	677	-	659	622	-
Stage 2	-	-	-	-	-	-	635	611	-	694	674	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.2			0.3			13.2			15.7		
HCM LOS							B			C		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	473	1222	-	-	1300	-	-	387				
HCM Lane V/C Ratio	0.069	0.005	-	-	0.012	-	-	0.132				
HCM Control Delay (s)	13.2	8	0	-	7.8	0	-	15.7				
HCM Lane LOS	B	A	A	-	A	A	-	C				
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.5				

Intersection





Int Delay, s/veh 0.7

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	5	242	275	5	15	14
Future Vol, veh/h	5	242	275	5	16	14
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	5	263	299	5	17	15

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	304	0	0 575 302
Stage 1	-	-	- 302 -
Stage 2	-	-	- 273 -
Critical Hdwy	4.11	-	- 6.41 6.21
Critical Hdwy Stg 1	-	-	- 5.41 -
Critical Hdwy Stg 2	-	-	- 5.41 -
Follow-up Hdwy	2.209	-	- 3.509 3.309
Pot Cap-1 Maneuver	1263	-	- 481 740
Stage 1	-	-	- 752 -
Stage 2	-	-	- 775 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1263	-	- 479 740
Mov Cap-2 Maneuver	-	-	- 479 -
Stage 1	-	-	- 748 -
Stage 2	-	-	- 775 -

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	11.7
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1263	-	-	-	573
HCM Lane V/C Ratio	0.004	-	-	-	0.057
HCM Control Delay (s)	7.9	0	-	-	11.7
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.2

Intersection												
Int Delay, s/veh	2.4											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	27	211	5	10	247	41	7	10	43	17	9	15
Future Vol, veh/h	27	211	5	10	247	41	7	10	43	17	9	15
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	29	229	5	11	268	45	8	11	47	18	10	16




Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	313	0	0	234	0	0	616	625	232	632	605	291
Stage 1	-	-	-	-	-	-	290	290	-	313	313	-
Stage 2	-	-	-	-	-	-	326	335	-	319	292	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1253	-	-	1339	-	-	404	403	810	394	413	751
Stage 1	-	-	-	-	-	-	720	674	-	700	659	-
Stage 2	-	-	-	-	-	-	689	644	-	695	673	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1253	-	-	1339	-	-	377	388	810	353	398	751
Mov Cap-2 Maneuver	-	-	-	-	-	-	377	388	-	353	398	-
Stage 1	-	-	-	-	-	-	701	656	-	681	652	-
Stage 2	-	-	-	-	-	-	657	638	-	627	655	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.9	0.3	11.5	13.8
HCM LOS			B	B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	616	1253	-	-	1339	-	-	452
HCM Lane V/C Ratio	0.106	0.023	-	-	0.008	-	-	0.099
HCM Control Delay (s)	11.5	7.9	0	-	7.7	0	-	13.8
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.4	0.1	-	-	0	-	-	0.3

HCM 6th TWSC
12: Pear St & S 31st Terrace

05/09/2022

Intersection						
Int Delay, s/veh	0.5					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	13	308	363	15	11	9
Future Vol, veh/h	13	308	363	15	11	9
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	14	335	395	16	12	10
Major/Minor	Major1	Major2	Minor2			
Conflicting Flow All	411	0	0	766	403	
Stage 1	-	-	-	403	-	
Stage 2	-	-	-	363	-	
Critical Hdwy	4.11	-	-	6.41	6.21	
Critical Hdwy Stg 1	-	-	-	5.41	-	
Critical Hdwy Stg 2	-	-	-	5.41	-	
Follow-up Hdwy	2.209	-	-	3.509	3.309	
Pot Cap-1 Maneuver	1153	-	-	372	650	
Stage 1	-	-	-	677	-	
Stage 2	-	-	-	706	-	
Platoon blocked, %	-	-	-	-	-	
Mov Cap-1 Maneuver	1153	-	-	366	650	
Mov Cap-2 Maneuver	-	-	-	366	-	
Stage 1	-	-	-	667	-	
Stage 2	-	-	-	706	-	
Approach	EB	WB	SB			
HCM Control Delay, s	0.3	0	13.3			
HCM LOS	B					
Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1	
Capacity (veh/h)	1153	-	-	-	456	
HCM Lane V/C Ratio	0.012	-	-	-	0.048	
HCM Control Delay (s)	8.2	0	-	-	13.3	
HCM Lane LOS	A	A	-	-	B	
HCM 95th %tile Q(veh)	0	-	-	-	0.1	

HCM 6th TWSC
8: Ajax Rd & Pear St

05/09/2022

Intersection												
Int Delay, s/veh	2.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↔			↔			↔			↔	
Traffic Vol, veh/h	6	293	9	16	347	37	11	9	14	41	10	4
Future Vol, veh/h	6	293	9	16	347	37	11	9	14	41	10	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	7	318	10	17	377	40	12	10	15	45	11	4

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	417	0	0	328	0	0	776	788	323	781	773	397
Stage 1	-	-	-	-	-	-	337	337	-	431	431	-
Stage 2	-	-	-	-	-	-	439	451	-	350	342	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1147	-	-	1237	-	-	316	324	720	313	331	655
Stage 1	-	-	-	-	-	-	679	643	-	605	585	-
Stage 2	-	-	-	-	-	-	599	573	-	669	640	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1147	-	-	1237	-	-	300	316	720	294	323	655
Mov Cap-2 Maneuver	-	-	-	-	-	-	300	316	-	294	323	-
Stage 1	-	-	-	-	-	-	674	638	-	601	574	-
Stage 2	-	-	-	-	-	-	573	563	-	640	636	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.2	0.3	14.9	19.3
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	402	1147	-	-	1237	-	-	312
HCM Lane V/C Ratio	0.092	0.006	-	-	0.014	-	-	0.192
HCM Control Delay (s)	14.9	8.2	0	-	8	0	-	19.3
HCM Lane LOS	B	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	0.3	0	-	-	0	-	-	0.7

3200 Timber Creek Dr & 3002 Ajax Road Rezoning

April

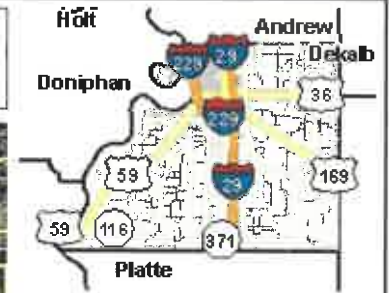
Owner Name	Situs Address	Mailing Address			
DALSING STEVEN P & SUSAN E	3027 S 29TH ST	3027 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 95
BUNSE WILBUR VALENTINE & BARBARA A	2909 AJAX RD	2909 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 88
COMEAU AMANDA L	3005 AJAX RD	2517 S 19TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 71
PERLERA ADRIAN	2905 S 29TH ST	317 LA JARA LN	EMPORIA	KS	66801 9171 9690 0935 0262 4780 64
MAUDLIN ALEXANDER R & HANNAH K	2809 AJAX RD	2809 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 57
BAHR LEO A & CINDY L	3105 STONE RIDGE CT	3105 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 40
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3408 AJAX RD	9110 N GARFIELD	KANSAS CITY	MO	64155 9171 9690 0935 0262 4780 33
TIMBER CREEK AT BOLZ FARM LLC	3103 STONE RIDGE CT	507 ALEXANDRIA CT	GOWER	MO	64454 9171 9690 0935 0262 4780 26
HOME GROWN PROPERTIES LLC	2907 S 29TH ST	PO BOX 8576	ST JOSEPH	MO	64508 9171 9690 0935 0262 4780 19
JONES DAVID	3107 STONE RIDGE CT	3107 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4780 02
GODSEY PRESTON & MELINDA	3013 S 29TH ST	3013 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 25
SMITH NICHOLAS	3003 S 29TH ST	1306 E JOSEPH ST	ST JOSEPH	MO	64504 9171 9690 0935 0262 4781 18
PECK JOHN W & PECK, GAIL A	3011 S 29TH ST	3011 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 49
CLINE STEVEN W	3203 CREEK STONE CT	3203 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 32
JANSEN MATTHEW E & TIFFANY M	2905 AJAX RD	2905 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 23
MERRITT AUSTYN Z & STOCKTON, EARIAN	2817 AJAX RD	2817 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 16
LARSEN MARK & JENNIFER	3011 PEAR ST	2926 PEAR ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 47
MIDLAND CONSTRUCTION SERVICES LLC	3002 AJAX RD	PO BOX 204	GOWER	MO	64454 -applicant
SANDER MICHAEL & BRIDGETTE	3029 S 29TH ST	3029 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 30
ZIMMERMAN LUCAS	3023 S 29TH ST	3023 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 09
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3105 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155 9171 9690 0935 0262 4782 93
HOVENGA PATRICIA JOANN	2902 AJAX RD	2902 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 86
PETERS SEAN & ERICHA	3109 STONE RIDGE CT	3109 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 79
MIDLALND CONSTRUCTION SERVICES LLC	3200 TIMBER CREEK D	PO BOX 204	GOWER	MO	64454 -applicant
PARKER BERTHA	2909 S 29TH ST	2909 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 48
NICHOLS MATTHEW R	3201 CREEK STONE CT	3201 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 31
BEGER ROBERT W & JULIE A	3009 AJAX RD	3009 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 62
HOWE ANDREA L	3101 S 29TH ST	3101 S 29TH ST	ST JOSEPH	MO	64506 9171 9690 0935 0262 4782 55
BARBER ELSIE GEORGENEA TRUST	3204 CREEK STONE CT	3204 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 00
HACKETT JACOB W & JUSTINA M	3019 S 29TH ST	3019 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 94
CRUM BRUCE & BOBBIE	3003 PEAR ST	3807 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 24
MACKLEY LINDA LOUISE LE	3121 S 29TH ST	3121 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4782 17
SHUMAN DAVID	3209 CREEK STONE CT	3209 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 87

3200 Timber Creek Drive & 3002 Ajax Rd rezoning

April

WATERS TIMOTHY A & SHARON K TRUST	2929 S 29TH ST	2929 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 70
NIGH BUDDY R	3202 CREEK STONE CT	3202 CREEKSTONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4781 63
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3137 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155 9171 9690 0935 0262 4781 56
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 84
RICHARDSON ROGERS L & CAROLYN J	2813 AJAX RD	2813 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 77
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4785 07
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 91
TAYLOR SANDRA S	3108 STONE RIDGE CT	3108 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 60
WILLIAMS JEFFERY H & GEORGIA C	3208 CREEK STONE CT	3208 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 53
LEACH JASON	2901 S 29TH ST	828 SHERIDAN RD	WATHENA	KS	66090 9171 9690 0935 0262 4784 46
RICHEY TERRY L & ANGELA S	3123 S 29TH ST	3123 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 39
KIRKPATRICK KENNETH E	3001 S 29TH ST	3001 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 08
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 15
DAVIS MICHAEL L & AMANDA S	3206 CREEK STONE CT	3206 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4784 22
KWAK MYONG S	3013 AJAX RD	3013 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 92
BUTRICK DARRELL DEAN	3110 STONE RIDGE CT	3110 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 85
MCLAUGHLIN KYLE J	3001 AJAX RD	3001 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 78
HAWK JAMES L & PENNY LE	2933 PEAR ST	9782 SE HILLYARD RD	EASTON	MO	64443 9171 9690 0935 0262 4783 61
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 4783 54

3200 Timber Creek Dr & 3002 Ajax Rd proposed rezoning



Legend

- Road
 - <all other values>
 - Interstate
 - State Highway L
 - State Highway N
 - U.S. Highway
- Railroad
- Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

April 5, 2022

VIA CERTIFIED MAIL

Applicant: Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location: 3200 Timber Creek Drive & 3002 Ajax Road
Regarding: Request for Rezoning from RP-2, Planned Two-Family Residential and R-1B, Single-Family Residential

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on April 28, 2022, on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is to re-zone the properties located at 3200 Timber Creek Drive & 3002 Ajax Road to RP-3 Planned Garden Apartment Residential. This rezoning is for the continued development of the Timber Creek residential subdivision. The current proposal is for a mix of single-family, two-family, and three apartment buildings to be developed on the site. This rezoning would bring the entire development area into one zoning district, allowing all aforementioned uses and giving flexibility to the developers to ensure quality and effective use of the property.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter.

A comment form is enclosed with this letter for those who would like to express concerns or support for the request. Written comments to be included in the Planning Commission packet should be filed with the Department of Planning & Community Development, Room 107, City Hall, by April 15, 2022. Written or verbal comments received after this date may be given during the public hearing.

Sincerely,

A handwritten signature in blue ink, appearing to be "Zack Martin", written over a blue wavy line.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☐ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): _____
(Name)

(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: _____

OWNERS OF RECORD MUST SIGN:

Signature _____

Address: _____

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this _____ day of _____, 20____.

Notary Public _____

My commission expires _____

OFFICE USE Within 185 ft. of petitioned property Not within 185 ft. of petitioned property _____

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

Received for April mtg - postponed

To the City of St. Joseph, Missouri:

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): RUDOLPH RAY NICH
(Name)
3202 CREEKSTONE CT ST JOSEPH, MO 816 244 5143
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: 7 THIRTEEN
LOT 133 FINAL PLAT, TIMBER
CREEK PLAT 1, A MAJOR SUBDIVISION IN THE SW 1/4
SEC 23, T-57N, R-35W, ST. JOSEPH, BUCHANAN COUNTY,
Legal description of land owned relating to request: MISSOURI

Reason(s) for concern or support to the request: I THINK IT WILL
REDUCE THE VALUE OF MY HOME,
BY HAVING APARTMENTS & DUPLEXES BUILT

OWNERS OF RECORD MUST SIGN:

Signature Buddy Ray Nich

Address: 3202 CREEKSTONE CT SAINT JOSEPH, MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 14th day of April, 2022.

Notary Public

Terril Lynette Duncan

My commission expires

Terril Lynette Duncan
Notary Public - Notary Seal
STATE OF MISSOURI
Buchanan County
My Commission Expires: Feb. 28, 2025
Commission # 17262243

OFFICE USE
Within 185 ft. of petitioned property
<u>YES</u> <u>X</u>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): LARRY D & M. Carlene Battorff
2913 Ajax Rd. - St. Joseph (816) 279-2112
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: N/A

Legal description of land owned relating to request: Morningside Addition

Lot: 73 BLK - 2913 Ajax Road

Reason(s) for concern or support to the request:

Do Not Want apartment buildings on this land. Previous builder kept changing plans on what he was going to build. Have no objection to single family homes. Have lived here 45 years & remember who wanted to build before. Do not trust plans!!

OWNERS OF RECORD MUST SIGN:

Signature

Larry D. Battorff
Maria Carlene Battorff

Address:

2913 Ajax Road
St. Joseph, Mo. 64503

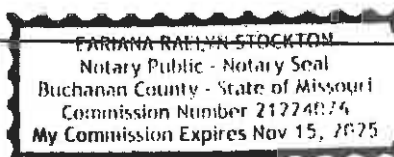
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property <input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property <input type="checkbox"/>

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

David Jones

(Name)

3107 Stone Ridge Ct, St. Joe MO 64503

(Address)

(Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request:

22-57-353W

Timber Creek Plat 2 A Lot 2

Reason(s) for concern or support to the request:

Worried about Traffic / Crime / House Value Dropping, Noise, Zoned single family for a reason!!!

OWNERS OF RECORD MUST SIGN:

Signature

[Signature]

Address:

3107 Stone Ridge Ct

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

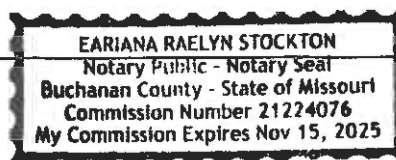
Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public

Eariana

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Betty Sandlin
3106 Stone ridge ct St. Joseph 232-1566
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: 3106 Stone ridge ct

Legal description of land owned relating to request:

Home.
22-57-35 SW Timber Creek Plat 2A Lot 24

Reason(s) for concern or support to the request:

Vandalism, crime, Property value, Theft, etc

OWNERS OF RECORD MUST SIGN:

Signature

Betty Sandlin

Address:

3106 Stone ridge ct

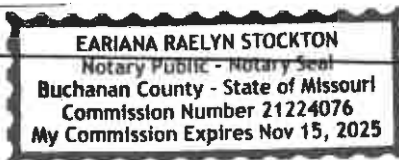
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022

Notary Public

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): Patricia Hovenya

2902 Ajax Rd St Joseph MO 64503

(Name)

(Address)

(Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: 22.57-35SW @ Cor of SW4 THE 11" S 623'
to POB TH W 627' N 210' W 33' NW 40'S W 52.2' NW 12'S 20' NW 68.29' NW 48.22' NW 34.01' NW
SW 110'S W 50' N 68' N 25' NW 75' SW 145'S 492'E 1310' N 325' to POB

Reason(s) for concern or support to the request: Too much traffic on Ajax. Will bring attention
to a quiet neighborhood along with crime in a single family area.

OWNERS OF RECORD MUST SIGN:

Signature

[Handwritten Signature]

Address: 2902 Ajax Rd St Joseph Mo 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

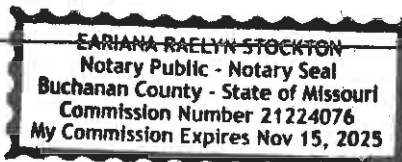
Subscribed and sworn to before me this 13 day of April, 2025.

Notary Public

[Handwritten Signature]

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property
<input type="checkbox"/>

NOTE: A Notary Public is available at City Hall at no charge

Received for Apr mtg - postponed

3200 Timber Creek Dr & 3002 Ajax Road

Page 66 of 187

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for Apr mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Randy Meers
3210 Creekstone Ct 64503 *816-351-2941*
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

22-57-35SW Timber Creek Plat 1 Lot 9

Reason(s) for concern or support to the request: _____

*Home Value, Crime, SAFETY
of our kids, TRAFFIC*

OWNERS OF RECORD MUST SIGN:

Signature

Randy Meers

Address:

*3210 Creekstone Ct
St Joseph MO 64503*

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

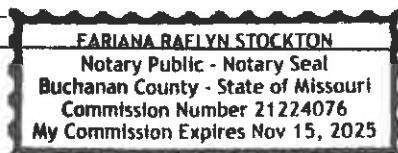
Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public

F. Stockton

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Melinda Godsey
3013 S 29th, Saint Joseph, MO 64503 (Address) *816 262 9258* (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: *residential*

Reason(s) for concern or support to the request:

Studies have shown increased crime in multifamily apartment complexes. This is a quiet neighborhood. Due to the hill it would be built on, it would also be unsightly and invade the privacy of surrounding neighbors. There is also a substantial amount of wild life throughout the wooded area that would be impacted.

OWNERS OF RECORD MUST SIGN:

Signature

Address:

3013 S 29th
Saint Joseph, MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this *12* day of *April*, 20*22*.

Notary Public

My commission expires

3-21-25



OFFICE USE

Within 185 ft. of
petitioned property

☒ Not within 185 ft.
of petitioned
property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Darrell Dean Butrick

3110 Stone Ridge Ct St. Joseph, MO 64503 816-244-5262
(Address) (Name) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: N/A

Legal description of land owned relating to request: 22-57-35W

Subd: Timber Creek Plat 2A Lot 28

06-5-0-22-003-000-012.022

Reason(s) for concern or support to the request: I am AGAINST the apartments and duplexes. The house was purchased in 2013 and we were told by realtor, it was for single family residences. These structures will decrease the value of my property.

OWNERS OF RECORD MUST SIGN:

Signature Darrell Dean Butrick

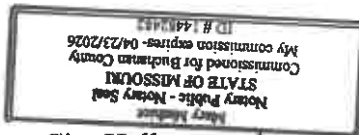
Address: 3110 Stone Ridge Ct
St. Joseph, MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public Mary Mathiot

My commission expires



OFFICE USE
Within 185 ft. of petitioned property <u>X</u>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri: *Received for April mtg - postponed*

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): Evariana Stockton
2817 Ajax Rd St. Joseph Mo 64503 (Name) 816-385-6904
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: HOUSE 2817 Ajax Rd
St. Joseph Mo 64503

Legal description of land owned relating to request: House

Reason(s) for concern or support to the request: Crime, decrease property value,
Schools already maxed out, vandalism, traffic (People
already speed down Ajax), drugs, etc

OWNERS OF RECORD MUST SIGN:

Signature Evariana Stockton

Address: 2817 Ajax Rd St. Joseph Mo 64503

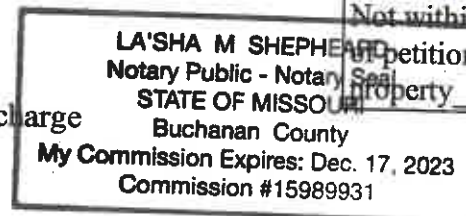
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 15th day of April, 20 22.

Notary Public LaSha M. Shepherd

My commission expires 12/17/2023

OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property
<input type="checkbox"/>



NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Julie Beger

Name, address & phone of party filing comment (Please print):

Robert Beger

(Name)

3009 Ajax Rd

(Address)

816-262-6728

(Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request:

Property values, crime, traffic. There are kids living on Ajax Rd. Cars speed down hill quite often

OWNERS OF RECORD MUST SIGN:

Signature

Robert Beger / Julie Beger

Address:

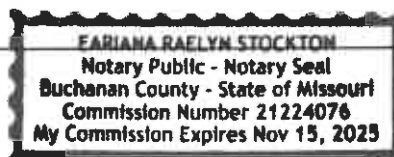
3009 Ajax Rd -

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public _____

My commission expires _____



OFFICE USE

Within 185 ft. of
petitioned property

Not within 185 ft.
of petitioned
property _____

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Carolyn Richardson
2813 Ajax rd St. Joseph Mo 816-233-7991
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property:

2813 Ajax rd St. Joseph Mo 64503

Legal description of land owned relating to request: home owner

Reason(s) for concern or support to the request: Traffic, crime, decrease in property value,

OWNERS OF RECORD MUST SIGN:

Signature Carolyn Richardson

Address: 2813 Ajax rd. St. Joseph Mo 64503

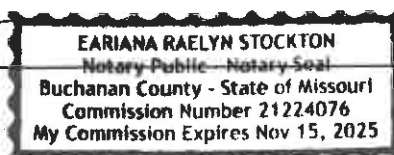
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE

pg 1 of 2

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Sandra Taylor (Name)
3108 Stone Ridge Ct (Address) 620-7104-0648 (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request:

Letter attached

OWNERS OF RECORD MUST SIGN:

Signature

Sandra S. Taylor Sandra S. Taylor

Address:

3108 Stone Ridge Ct

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 14th day of April, 2022.

Notary Public

Paula Heyde

My commission expires

6-29-2024

OFFICE USE
Within 185 ft. of
petitioned property
1
Not within 185 ft.
of petitioned
property



NOTE: A Notary Public is available at City Hall at no charge.

Sandra Taylor's concerns and strong opposition for proposed zoning of Timber Creek:

- ___ Multi-family units are necessary, but would be located next to quiet single family homes and neighborhoods.
- ___ These units Often diminish the value of those homes.
- ___ Multi-family dwellings historically can be a nuisance and interfere with the quiet that I believed when I built my home.
- ___ When I purchased the land and built my home, it was my understanding more single family homes would be built.
- ___ Multi-family units are only as good as the owner, which often get sold and maintenance and management decline when this occurs.
- ___ The need for Single Family homes out weigh the need for run down apartments in this area and also in this city.
- ___ There would be increased traffic and congestion.
- ___ Destruction of the area would drive animals out of their habitat.

Please DO NOT rezone this property area and I strongly urge you to disapprove the proposed rezoning.

I know my opinions are shared by my neighborhoods.



COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Angela S. Richey (Name)
3123 South 29th St, St. Joseph, MO 64503 (Address) 816-341-4909 (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: my residential property will back up to this proposed new development - destroying land, property & nature (wildlife habitats)

Reason(s) for concern or support to the request: HUGE concern for safety & privacy!

Anticipate Lower income rentals will lead to more crime & lower property values!
worry about "out of town" property owners that FAIL to maintain properties in a community that already struggles w/ vacant, rundown homes.

OWNERS OF RECORD MUST SIGN:

Signature

Angela S. Richey
Tony Richey

Address:

3123 South 29th Street
Saint Joseph, MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 11 day of April, 2022.

Notary Public

My commission expires

March 03, 2023

ANGEL L. KENNEDY
Notary Public - Notary Seal
State of Missouri
Commissioned for Andrew County
My Commission Expires: March 03, 2023
Commission Number: 19081229

OFFICE USE
Within 185 ft. of
petitioned property

Not within 185 ft.
of petitioned
property

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☒ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Kylee Hansen
3207 Creek Stone Ct. St. Joseph, MO 64503 *816-676-1635*
(Address) (Name) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: _____

OWNERS OF RECORD MUST SIGN:

Signature

Address:

Kylee Hansen
3207 Creek Stone Ct St. Joseph, MO 64503

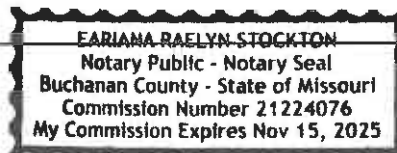
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of April, 2022.

Notary Public

My commission expires

11/15/25



OFFICE USE
Within 185 ft. of
petitioned property

Not within 185 ft.
of petitioned
property ☒

NOTE: A Notary Public is available at City Hall at no charge

**COMMENTS IN REFERENCE TO
PROPOSED ZONING DISTRICT CHANGE**

To the City of St. Joseph, Missouri:

Received for April mtg - postponed

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☒ **FOR** ☐ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): Elsie G. Barber
3204 Creek Stone Ct St Joseph, Mo 64503 - 816-646-3156
(Address) (Name) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: _____

OWNERS OF RECORD MUST SIGN:

Signature Elsie G. Barber
Address: 3204 Creek Stone Ct - St Joseph Mo 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this _____ day of _____, 20____.

Notary Public _____

My commission expires _____

OFFICE USE
Within 185 ft. of petitioned property
<input checked="" type="checkbox"/>
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

April 19, 2022

Applicant: Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.

Location: 3200 Timber Creek Drive & 3002 Ajax Road

Regarding: Application for a Preliminary Plat for a Major Subdivision entitled **Timber Creek Subdivision**, and an application **Zoning District Change** from RP-2 & R-1B to RP-3

You recently received a letter regarding two applications coming before the Planning Commission during the April 28, 2022 meeting. The applicant has requested the items be postponed and therefore the items will not be on the April agenda. At this time, we expect the items to be placed on the May agenda. The city will send certified letters to property owners within 185ft of these application locations in advance of the May meeting. If you wish to make a comment in favor or in opposition of the items on the May agenda, a form will be included with the notification letter.

The May Planning Commission meeting will be held on May 19, 2022 in the third floor Council Chambers, 1100 Frederick at 5:30pm.

Further questions may be directed to the Planning & Zoning division.

Sincerely,

A handwritten signature in blue ink, appearing to be "ZM", is written over a faint, larger blue outline of the same signature.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

Timber Creek Postponement Letter

Owner Name	Situs Address	Mailing Address			
DALSING STEVEN P & SUSAN E	3027 S 29TH ST	3027 S 29TH ST	ST JOSEPH	MO	64503
BUNSE WILBUR VALENTINE & BARBARA A	2909 AJAX RD	2909 AJAX RD	ST JOSEPH	MO	64503
COMEAU AMANDA L	3005 AJAX RD	2517 S 19TH ST	ST JOSEPH	MO	64503
PERLERA ADRIAN	2905 S 29TH ST	317 LA JARA LN	EMPORIA	KS	66801
MAUDLIN ALEXANDER R & HANNAH K	2809 AJAX RD	2809 AJAX RD	ST JOSEPH	MO	64503
BAHR LEO A & CINDY L	3105 STONE RIDGE CT	3105 STONE RIDGE CT	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3408 AJAX RD	9110 N GARFIELD	KANSAS CITY	MO	64155
TIMBER CREEK AT BOLZ FARM LLC	3103 STONE RIDGE CT	507 ALEXANDRIA CT	GOWER	MO	64454
HOME GROWN PROPERTIES LLC	2907 S 29TH ST	PO BOX 8576	ST JOSEPH	MO	64508
JONES DAVID	3107 STONE RIDGE CT	3107 STONE RIDGE CT	ST JOSEPH	MO	64503
GODSEY PRESTON & MELINDA	3013 S 29TH ST	3013 S 29TH ST	ST JOSEPH	MO	64503
SMITH NICHOLAS	3003 S 29TH ST	1306 E JOSEPH ST	ST JOSEPH	MO	64504
PECK JOHN W & PECK, GAIL A	3011 S 29TH ST	3011 S 29TH ST	ST JOSEPH	MO	64503
CLINE STEVEN W	3203 CREEK STONE CT	3203 CREEK STONE CT	ST JOSEPH	MO	64503
JANSEN MATTHEW E & TIFFANY M	2905 AJAX RD	2905 AJAX RD	ST JOSEPH	MO	64503
MERRITT AUSTYN Z & STOCKTON, EARIAN	2817 AJAX RD	2817 AJAX RD	ST JOSEPH	MO	64503
LARSEN MARK & JENNIFER	3011 PEAR ST	2926 PEAR ST	ST JOSEPH	MO	64503
MIDLAND CONSTRUCTION SERVICES LLC	3002 AJAX RD	PO BOX 204	GOWER	MO	64454
SANDER MICHAEL & BRIDGETTE	3029 S 29TH ST	3029 S 29TH ST	ST JOSEPH	MO	64503
ZIMMERMAN LUCAS	3023 S 29TH ST	3023 S 29TH ST	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3105 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155
HOVENGA PATRICIA JOANN	2902 AJAX RD	2902 AJAX RD	ST JOSEPH	MO	64503
PETERS SEAN & ERICHA	3109 STONE RIDGE CT	3109 STONE RIDGE CT	ST JOSEPH	MO	64503
MIDLALND CONSTRUCTION SERVICES LLC	3200 TIMBER CREEK D	PO BOX 204	GOWER	MO	64454
PARKER BERTHA	2909 S 29TH ST	2909 S 29TH ST	ST JOSEPH	MO	64503
NICHOLS MATTHEW R	3201 CREEK STONE CT	3201 CREEK STONE CT	ST JOSEPH	MO	64503
BEGER ROBERT W & JULIE A	3009 AJAX RD	3009 AJAX RD	ST JOSEPH	MO	64503
HOWE ANDREA L	3101 S 29TH ST	3101 S 29TH ST	ST JOSEPH	MO	64506
BARBER ELSIE GEORGENEA TRUST	3204 CREEK STONE CT	3204 CREEK STONE CT	ST JOSEPH	MO	64503
HACKETT JACOB W & JUSTINA M	3019 S 29TH ST	3019 S 29TH ST	ST JOSEPH	MO	64503
CRUM BRUCE & BOBBIE	3003 PEAR ST	3807 AJAX RD	ST JOSEPH	MO	64503
MACKLEY LINDA LOUISE LE	3121 S 29TH ST	3121 S 29TH ST	ST JOSEPH	MO	64503
SHUMAN DAVID	3209 CREEK STONE CT	3209 CREEK STONE CT	ST JOSEPH	MO	64503

WATERS TIMOTHY A & SHARON K TRUST	2929 S 29TH ST	2929 S 29TH ST	ST JOSEPH	MO	64503
NIGH BUDDY R	3202 CREEK STONE CT	3202 CREEKSTONE CT	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3137 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503
RICHARDSON ROGERS L & CAROLYN J	2813 AJAX RD	2813 AJAX RD	ST JOSEPH	MO	64503
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503
TAYLOR SANDRA S	3108 STONE RIDGE CT	3108 STONE RIDGE CT	ST JOSEPH	MO	64503
WILLIAMS JEFFERY H & GEORGIA C	3208 CREEK STONE CT	3208 CREEK STONE CT	ST JOSEPH	MO	64503
LEACH JASON	2901 S 29TH ST	828 SHERIDAN RD	WATHENA	KS	66090
RICHEY TERRY L & ANGELA S	3123 S 29TH ST	3123 S 29TH ST	ST JOSEPH	MO	64503
KIRKPATRICK KENNETH E	3001 S 29TH ST	3001 S 29TH ST	ST JOSEPH	MO	64503
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503
DAVIS MICHAEL L & AMANDA S	3206 CREEK STONE CT	3206 CREEK STONE CT	ST JOSEPH	MO	64503
KWAK MYONG S	3013 AJAX RD	3013 AJAX RD	ST JOSEPH	MO	64503
BUTRICK DARRELL DEAN	3110 STONE RIDGE CT	3110 STONE RIDGE CT	ST JOSEPH	MO	64503
MCLAUGHLIN KYLE J	3001 AJAX RD	3001 AJAX RD	ST JOSEPH	MO	64503
HAWK JAMES L & PENNY LE	2933 PEAR ST	9782 SE HILLYARD RD	EASTON	MO	64443
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

May 4, 2022

VIA CERTIFIED MAIL

Applicant: Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location: 3200 Timber Creek Drive & 3002 Ajax Road
Regarding: Request for Rezoning from RP-2, Planned Two-Family Residential and R-1B, Single-Family Residential

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on May 19, 2022, on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is to re-zone the properties located at 3200 Timber Creek Drive & 3002 Ajax Road to RP-3 Planned Garden Apartment Residential. This rezoning is for the continued development of the Timber Creek residential subdivision. The current proposal is for a mix of single-family, two-family, and three apartment buildings to be developed on the site. This rezoning would bring the entire development area into one zoning district, allowing all aforementioned uses and giving flexibility to the developers to ensure quality and effective use of the property.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter.

A comment form is enclosed with this letter for those who would like to express concerns or support for the request. Written comments to be included in the Planning Commission packet should be filed with the Department of Planning & Community Development, Room 107, City Hall, by May 13, 2022. Written or verbal comments received after this date may be given during the public hearing. While the City will include responses from the previous mailing in the Planning Commission packet, if your opinion has changed from what you previously submitted please contact us at 816-271-4648.

Sincerely, 

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

MAY PLANNING COMMISSION MEETING

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☐ **AGAINST** said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print): _____
(Name)

(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: _____

OWNERS OF RECORD MUST SIGN:

Signature _____

Address: _____

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this ____ day of _____, 20____.

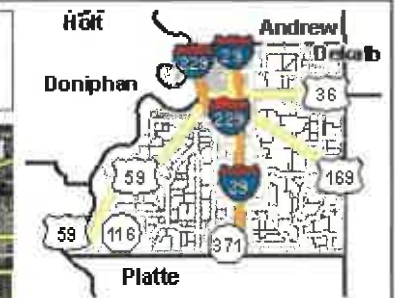
Notary Public _____

My commission expires _____

OFFICE USE Within 185 ft. of petitioned property
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

3200 Timber Creek Dr & 3002 Ajax Rd proposed rezoning



Legend

- Road**
- <all other values>
 - Interstate
 - State Highway L
 - State Highway N
 - U.S. Highway
- Railroad
- Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Owner Name	Situs Address	Mailing Address		
DALSING STEVEN P & SUSAN E	3027 S 29TH ST	3027 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0261 0749 46
BUNSE WILBUR VALENTINE & BARBARA A	2909 AJAX RD	2909 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0261 0749 39
COMEAU AMANDA L	3005 AJAX RD	2517 S 19TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0261 0749 60
PERLERA ADRIAN	2905 S 29TH ST	317 LA JARA LN	EMPORIA	KS 66801 9171 9690 0935 0261 0749 53
MAUDLIN ALEXANDER R & HANNAH K	2809 AJAX RD	2809 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0261 0749 84
BAHR LEO A & CINDY L	3105 STONE RIDGE CT	3105 STONE RIDGE CT	ST JOSEPH	MO 64503 9171 9690 0935 0261 0749 77
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3408 AJAX RD	9110 N GARFIELD	KANSAS CITY	MO 64155 9171 9690 0935 0261 0749 91
TIMBER CREEK AT BOLZ FARM LLC	3103 STONE RIDGE CT	507 ALEXANDRIA CT	GOWER	MO 64454 9171 9690 0935 0262 0627 20
HOME GROWN PROPERTIES LLC	2907 S 29TH ST	PO BOX 8576	ST JOSEPH	MO 64508 9171 9690 0935 0262 0627 13
JONES DAVID	3107 STONE RIDGE CT	3107 STONE RIDGE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 44
GODSEY PRESTON & MELINDA	3013 S 29TH ST	3013 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 37
SMITH NICHOLAS	3003 S 29TH ST	1306 E JOSEPH ST	ST JOSEPH	MO 64504 9171 9690 0935 0262 0627 68
PECK JOHN W & PECK, GAIL A	3011 S 29TH ST	3011 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 51
CLINE STEVEN W	3203 CREEK STONE CT	3203 CREEK STONE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 82
JANSEN MATTHEW E & TIFFANY M	2905 AJAX RD	2905 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 75
MERRITT AUSTYN Z & STOCKTON, EARIAN	2817 AJAX RD	2817 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 05
LARSEN MARK & JENNIFER	3011 PEAR ST	2926 PEAR ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0627 99
MIDLAND CONSTRUCTION SERVICES LLC	3002 AJAX RD	PO BOX 204	GOWER	MO 64454 - applicant
SANDER MICHAEL & BRIDGETTE	3029 S 29TH ST	3029 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 29
ZIMMERMAN LUCAS	3023 S 29TH ST	3023 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 12
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3105 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO 64155 9171 9690 0935 0262 0628 43
HOVENGA PATRICIA JOANN	2902 AJAX RD	2902 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 36
PETERS SEAN & ERICHA	3109 STONE RIDGE CT	3109 STONE RIDGE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 67
MIDLALND CONSTRUCTION SERVICES LLC	3200 TIMBER CREEK D	PO BOX 204	GOWER	MO 64454 - applicant
PARKER BERTHA	2909 S 29TH ST	2909 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 50
NICHOLS MATTHEW R	3201 CREEK STONE CT	3201 CREEK STONE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 81
BEGER ROBERT W & JULIE A	3009 AJAX RD	3009 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 74
HOWE ANDREA L	3101 S 29TH ST	3101 S 29TH ST	ST JOSEPH	MO 64506 9171 9690 0935 0262 0629 04
BARBER ELSIE GEORGENEA TRUST	3204 CREEK STONE CT	3204 CREEK STONE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0628 98
HACKETT JACOB W & JUSTINA M	3019 S 29TH ST	3019 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0629 28
CRUM BRUCE & BOBBIE	3003 PEAR ST	3807 AJAX RD	ST JOSEPH	MO 64503 9171 9690 0935 0262 0629 11
MACKLEY LINDA LOUISE LE	3121 S 29TH ST	3121 S 29TH ST	ST JOSEPH	MO 64503 9171 9690 0935 0262 0620 27
SHUMAN DAVID	3209 CREEK STONE CT	3209 CREEK STONE CT	ST JOSEPH	MO 64503 9171 9690 0935 0262 0620 10

WATERS TIMOTHY A & SHARON K TRUST	2929 S 29TH ST	2929 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 41
NIGH BUDDY R	3202 CREEK STONE CT	3202 CREEKSTONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 34
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3137 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155 9171 9690 0935 0262 0620 65
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 58
RICHARDSON ROGERS L & CAROLYN J	2813 AJAX RD	2813 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 89
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 72
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 02
TAYLOR SANDRA S	3108 STONE RIDGE CT	3108 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 96
WILLIAMS JEFFERY H & GEORGIA C	3208 CREEK STONE CT	3208 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 26
LEACH JASON	2901 S 29TH ST	828 SHERIDAN RD	WATHENA	KS	66090 9171 9690 0935 0262 0621 19
RICHEY TERRY L & ANGELA S	3123 S 29TH ST	3123 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 40
KIRKPATRICK KENNETH E	3001 S 29TH ST	3001 S 29TH ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 33
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 64
DAVIS MICHAEL L & AMANDA S	3206 CREEK STONE CT	3206 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 57
KWAK MYONG S	3013 AJAX RD	3013 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 88
BUTRICK DARRELL DEAN	3110 STONE RIDGE CT	3110 STONE RIDGE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0621 71
MCLAUGHLIN KYLE J	3001 AJAX RD	3001 AJAX RD	ST JOSEPH	MO	64503 9171 9690 0935 0262 0622 01
HAWK JAMES L & PENNY LE	2933 PEAR ST	9782 SE HILLYARD RD	EASTON	MO	64443 9171 9690 0935 0262 0621 95
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503 9171 9690 0935 0262 0620 03

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

MAY PLANNING COMMISSION MEETING

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Patricia Hovenga (Name)
2902 Ajax Rd (Address) (916) 279-2301 (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request:

To much Traffic,
Property value will decrease

OWNERS OF RECORD MUST SIGN:

Signature

Address:

2902 Ajax Rd
St Joseph Mo 64503

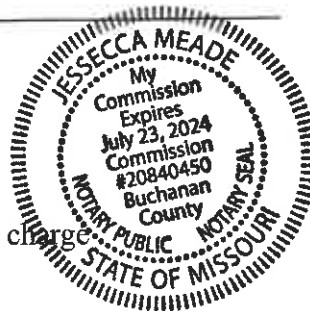
NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 12 day of May, 2022.

Notary Public

My commission expires

7-23-22



OFFICE USE
Within 185 ft. of petitioned property
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge.

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Angela S. Richey (Name)
3123 South 29th St., St. Joseph, MO 64503 (Address) 816-341-4909 (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: My residential property will back up to this proposed new development - destroying land, property + nature (wildlife habitats)

Reason(s) for concern or support to the request: HUGE concern for safety + privacy!

Anticipate Lower income rentals will lead to more crime + lower property values!
worry about "out of town" property owners that FAIL to maintain properties
in a community that already struggles w/ vacant, rundown homes.

OWNERS OF RECORD MUST SIGN:

Signature Angela S. Richey
Angela Richey

Address: 3123 South 29th Street
Saint Joseph, MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 11 day of April, 2022.

Notary Public

My commission expires

Amie L. Kennedy
AMIE L. KENNEDY
Notary Public - Notary Seal
State of Missouri
Commissioned for Andrew County
My Commission Expires: March 03, 2023
Commission Number: 19081229

OFFICE USE
Within 185 ft. of petitioned property
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

3200 Timber Creek Dr & 3002 Ajax Road

Name, address & phone of party filing comment (Please print):

Larry A Mitchell (Name)
2810 Ajax Rd St Joseph MO 64503 (Address) 816-261-2617 (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: Too Much Traffic on Pear, Ajax Rd
and Pickett don't need any apartment buildings in this Area

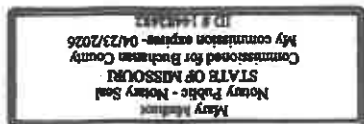
OWNERS OF RECORD MUST SIGN:

Signature Larry A Mitchell
Address: 2810 Ajax Rd
St Joseph MO 64503

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of May, 2022.

Notary Public Mary Mathick
My commission expires _____



OFFICE USE Within 185 ft. of petitioned property
Not within 185 ft. of petitioned property <input checked="" type="checkbox"/>

NOTE: A Notary Public is available at City Hall at no charge

AFFIDAVIT OF PUBLICATION

NPG Newspapers, Inc., P.O. Box 29, St. Joseph, MO 64502

Reference: 12290
Ad ID: 6713582

P.O. : DESC : Planning Comm Meeting - 4 Items 5/19/22

REBECCA SHIPP
CITY OF SJ PLANNING COMM
1100 FREDERICK AVE, RM 107
ST. JOSEPH, MO 64501-2337

(Published in the St. Joseph
News-Press Tues. 5/03/22)

County of Buchanan
State of Missouri

I, Sandra Ridings, being duly sworn according to law, state that I am the Legal Advertising Coordinator of the St. Joseph News-Press, a daily newspaper of general circulation in the county of Buchanan, where located; which has been admitted to the Post Office as second class matter in the city of St. Joseph, the city of publication; where newspaper has been published regularly and consecutively for a period of three years and has a list of bona fide subscribers voluntarily engaged to pay a stated price for a subscription for a definite period of time, and that such newspaper has complied with the provisions of Section 493.050 Revised Statutes of Missouri, 1949. The affixed notice appeared in said newspaper on the following date:

Run Dates: 05/03/22 to 05/03/22
Appearances: 1
AD SPACE: 113
TOTAL COST: \$490.25

(Signed)

Subscribed and sworn before me this

4 day of May 2022
Judy B. Moreno Notary Public

JUDY B. MORENO
Notary Public - Notary Seal
State of Missouri
Commissioned for Buchanan County
My Commission Expires: June 23, 2024
Commission Number: 12544882

NOTICE OF PUBLIC HEARING

Notice is hereby given to all citizens of the City of St. Joseph, Missouri, that a meeting of the Planning Commission of the City of St. Joseph, Missouri, will be held on the 19th day of May, 2022 at 5:30 p.m. in the Council Chamber of City Hall wherein the Commission will conduct a public hearing for the following items and at which time all interested persons will be heard:

● A request for approval of a change of zoning from RP-2 Planned Two-Family Residential District and R-1B Single-Family Residential to RP-3 Planned Garden Apartment Residential District for property located at 3200 Timber Creek Drive and 3002 Ajax Road as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision located at 3200 Timber Creek Drive and 3002 Ajax Road, as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Hillyard Addition located at 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th, as requested by Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC

● A request for approval of a change of zoning from R-3 Garden Apartment Residential District to RP-4 Planned Apartment Residential District for property located at 4820 Gene Field Road as requested by Clark Hampton on behalf of Pivotal Point Transitional Housing.

Questions about the above referenced items should be directed to Zack Martin, City Planner at (816) 271-4648.

/s/

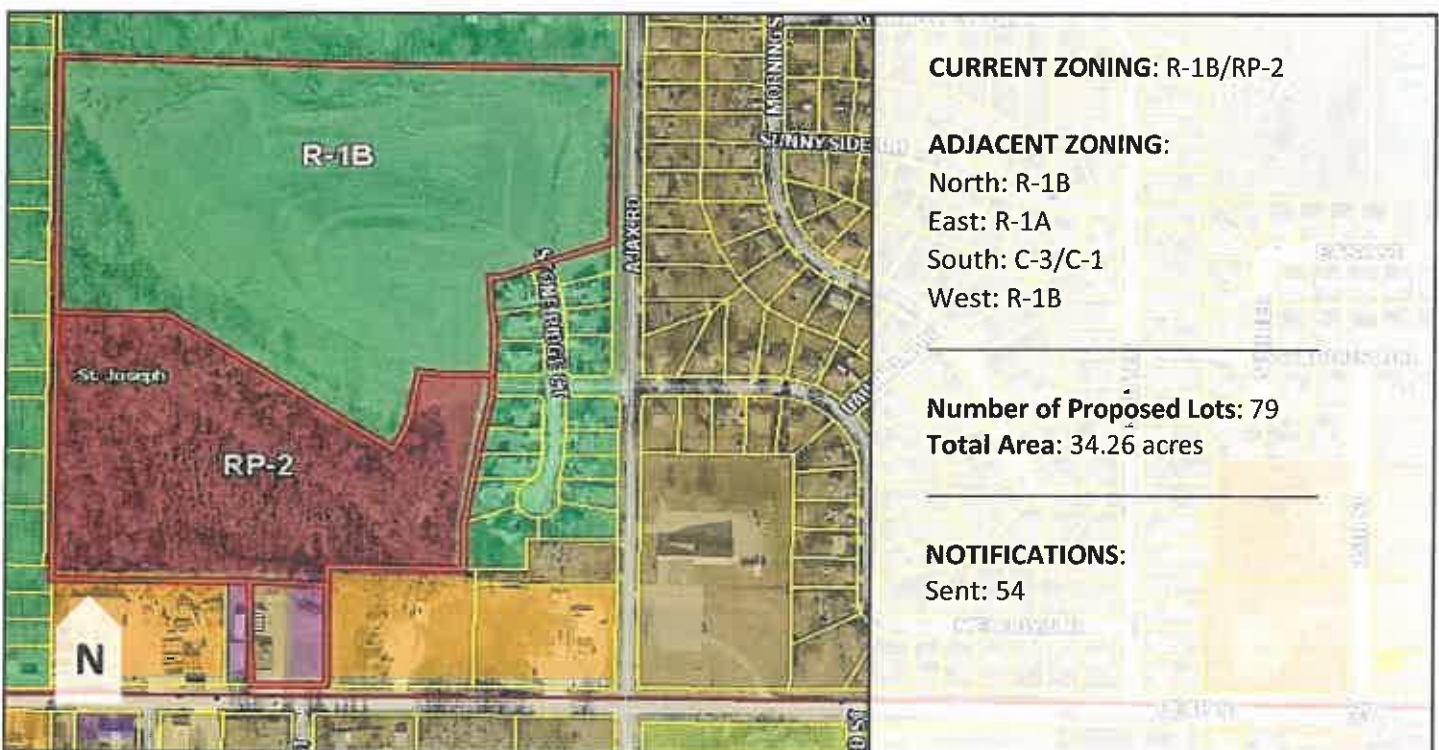
Allison Tschannen, Chairman
Planning Commission

Application	Application for a Preliminary Plat for a Major Subdivision entitled Timber Creek Plat 3 Subdivision
Applicant	Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location	3200 Timber Creek Drive, 3002 Ajax Road, & 3011 Pear Street
Staff Recommendation	APPROVAL WITH CONDITIONS

BACKGROUND

This request is for the approval of a preliminary plat for a major subdivision entitled Timber Creek Plat 3. The proposed subdivision is 79 lots and one tract of approximately 34.26 acres total created from three existing properties. The purpose of the major subdivision is to allow for development of a mix of single-family, two-family, and three apartment buildings to be developed on the site. The location of the property is zoned for a mixture of two residential districts (RP-2 & R-1B) and is currently vacant. The property is concurrently undergoing a zoning district change application to bring the entirety of the property into the RP-3 zoning district to allow for the proposed apartments. The surrounding area is residential in zoning and use, with predominately single-family homes and commercial zoning and uses to the south along Pear Street.

OVERVIEW



ATTACHMENTS INCLUDED:

- Application & supporting documents provided by applicant.
- Letter to adjacent property owners.

FACTORS FOR CONSIDERATION:

The following is a list of guidelines for the commission recommendation as listed in Section 26-45(g) of the Municipal Code. According to this section of the code, the commission shall consider the following criteria in making a recommendation on the preliminary plat:

- 1. The plat substantially conforms with an approved sketch plat reviewed in the pre-application conference.**

Staff finds that the proposed plat is generally in conformance with the requirements of Sec. 26-45, save the items outlined as a condition of approval.

- 2. The plat conforms to these regulations and the applicable provisions of the zoning ordinance and other land use regulations.**

Staff finds that the proposed plat is in conformance regarding the platting of property in relation to the zoning ordinance and other land use regulations, assuming approval of the zoning district change currently under review. If the district change is denied, the property would be in compliance to allow single-family and two-family dwellings as already permitted through existing zoning districts.

- 3. The plat represents an overall development pattern that is consistent with the goals and policies of the comprehensive plan, the major street plan, the official map, the capital improvements program, and any other applicable planning documents adopted by the city.**

Staff generally finds this to be true.

- 4. The development shall be laid out in such a way as to result in:**

- a. Good natural surface drainage to a storm sewer or a natural water course.**

Staff finds this to be true.

- b. Adequate width for the type and size of dwellings contemplated, including adequate side yards for light, air circulation, access, and privacy.**

Staff finds this to be true.

- c. An adequate depth for outdoor living space.**

Staff finds this to be true.

- 5. The plat contains, lots and a subdivision layout that is consistent with good land planning and site engineering design principles.**

Staff finds that the plat generally does contain a layout that is consistent with good land planning and site engineering design principles.

AGENDA ITEM #3

STAFF REVIEW & RECOMMENDATION

Staff recommends **APPROVAL WITH THE FOLLOWING CONDITIONS:**

- The addition of sidewalks along the sides of the proposed South 31st Street.
- Clarification on improvements provided along Ajax Road during phasing of the development.
- Covenants and restrictions that run with the property will need to be acceptable and approved by the City Attorney's Office.

Staff: _____



Zack Martin, AICP

City Planner

(816) 271-4648

zmartin@stjosephmo.gov



MAJOR SUBDIVISION APPLICATION | PRELIMINARY

City of St. Joseph, Missouri | Planning & Zoning

1100 Frederick Avenue, Room 107

Zack Martin, City Planner | (816) 271-4648 | zmartin@stjoemo.org

All submittals for major subdivisions must comply with Sec. 26-45 & 26-46 of the City's Code of Ordinances, located online at stjoemo.info The following must be included with every application:

1. Completed Application (PLEASE DO NOT SUBMIT PAPER PLAT DOCUMENTS UNTIL RECORDING)
2. \$1,050.00 PLUS \$25.00 per lot application fee (separate filing fee is required at time of recording)
3. Completion of all additional materials and steps (see back)

THE UNDERSIGNED HEREBY APPLIES FOR THE APPROVAL OF SAID MAJOR SUBDIVISION BY THE CITY OF ST. JOSEPH IN BELIEF THAT THE PLAN CONFORMS TO CHAPTERS 26 AND 31 OF THE CODE OF ORDINANCES.

With the signing and submittal of this application, the property owner authorizes the City of St. Joseph to enter onto the subject property to collect data and other information in order to accurately prepare reports or other documentation for review by the City Council, City boards and commissions, and City departments.

Applicant Information

Primary Contact ☐ Yes ☐ No

Name Midland Construction Services LLC | Property Owner ☒ Yes ☐ No

Street PO Box 204

City, State, Zip Gower | MO | 64454

Phone (816) 271-5253 | Email Timber Creek + Soc @ gmail.com

Signature [Signature] Mike Jessen Date 3-18-22

Surveyor Information

Engineer Name Shawn Duke | Primary Contact ☐ Yes ☐ No

Business Name Snyder + Associates, Inc

Street 802 Francis St.

City, State, Zip St. Joseph, MO 64501 | |

Phone (816) 364-5222 | Email sduke@snyder-associates.com

Signature [Signature] Date 3/17/22

Project Address

Street 3200 Timber Creek Dr

City, State, Zip St. Joseph, MO 64501 | |

Located in the 1/4, Section , T N, R W

Number of Lots Proposed 79 Total Acreage 34.26 Owner Midland Construction Services LLC
Mark + Jennifer Larsen - Parcel 06-50-22-003-000
1.09 ac on south - 013.0

Name of Proposed Subdivision Timber Creek

Section to be completed by City

Received By MM Date 3/28/22 Accela ID P222-00045

ALL applications must include the following to be considered complete:

- ☐ Completed application (**PLEASE DO NOT SUBMIT PAPER PLAT DOCUMENTS UNTIL RECORDING**)
- ☐ Submitted application fee (\$1,050.00 PLUS \$25.00 PER LOT, payable to City of St. Joseph)
- ☐ Letter from owner stating the purpose of subdivision & Word Document containing full legal description
- ☐ PDF copy of proposed subdivision from licensed surveyor for initial review, with:
 - ☐ Date, scale, north arrow, and name of subdivision
 - ☐ Location of survey monuments "referenced in" on ground for reproduction
 - ☐ Location of section, township, range, county, and state, including precise legal description
 - ☐ Key map showing general area of proposed subdivision
 - ☐ Scale specification (not to exceed 1:100)
 - ☐ Word Document sent to City Planner with full legal description
 - ☐ Abstract of title or other certificate establishing ownership interests and proof that proper parties have signed the plat for all land in the subdivision
 - ☐ Boundary lines and zoning of all adjoining lands for a distance of two hundred (200) feet and showing (with dotted lines) the right-of-way lines and adjacent street and alleys, indicating paved or unpaved, with their widths and names and existing topography lines
 - ☐ Easements for right-of-way's provided for public use, services or utilities, with figures showing dimensions
 - ☐ All dimensions and bearings, both linear and angular, radii and arcs, necessary for locating the boundaries of the subdivision, blocks, lots, streets, easements, building lines, and other areas to be dedicated for public or private use. The linear dimensions are to be expressed in feet and decimals of a foot
 - ☐ Layout of proposed sanitary sewerage and water distribution lines and facilities and location of nearest existing sewer and water mains
 - ☐ Stormwater management plan, calculations, proposed size, nature, and location of all proposed storm drainage improvements
 - ☐ Existing topography with contours at max two (2) foot intervals (relate to USGS data)
 - ☐ Area in acres and square feet for each lot or parcel
 - ☐ Letters of availability/adequacy of services
 - ☐ Certification by a registered land surveyor, engineer, or architect that all details of the plat are correct
 - ☐ Any and all information required in Sec. 26-45 of the St. Joseph City Code
- ☐ **Completed** applications will be placed on the **following** month's Planning Commission agenda and will be reviewed by City Staff for any errors, missing items, conditions, etc. Once reviewed, Staff will provide one of the following recommendations to the Planning Commission:
 - **Approval** – Plat may proceed to City Council (Contact City Staff for **Final Plat** process)
 - **Approval with Conditions** – Plat may proceed to City Council and recording pending the conditions set forth by staff are met (Contact City Staff for **Final Plat** process)
 - **Denial** – Plat does not move forward
- ☐ **When/If** final plat is approved by City Council, two (2) paper copies, one (1) mylar copy, and one (1) PDF copy of the final subdivision (with conditions met if applicable) will be provided for recording with Buchanan County and the City's records (this will include an additional filing fee confirmed with the City Planner before copies are submitted). Please ensure that any non-City Staff signatures and notary requirements are met before submitting to City Staff for recording

**Recording Fees are made out to the Buchanan County Recorder's Office*

Planning Commission hearings, unless otherwise stated or posted, are held on the last Thursday of each month at 5:30pm in the City Council Chambers on the 3rd floor of City Hall (1100 Frederick Avenue). Submittal deadlines are the last working Friday the month prior. City Council dates will be provided and are posted online.

Section to be completed by City

Staff Review

- ☒ Completed Application
- ☒ Application Fee

Fees

- ☒ Application (\$1,050.00)
- ☒ Plus (\$25/Lot)

Date Application Received

3 / 25 / 22

Zoning _____

Total (\$) 3,025.00

Date Fee Received

3 / 25 / 22

PRELIMINARY PLAT TIMBER CREEK PLAT 3 CITY OF ST. JOSEPH BUCHANAN COUNTY, MISSOURI

LEGAL DESCRIPTION:
LOT FOURTEEN (14), FINAL PLAT, TIMBER CREEK PLAT 1, A MAJOR SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI;
LOT FIFTEEN (15), FINAL PLAT, TIMBER CREEK PLAT 1, A MAJOR SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57) NORTH, RANGE THIRTY-FIVE (35) WEST, CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI EXCEPT THAT PART DEDICATED AS TIMBER CREEK PLAT 2A IN PLAT BOOK 11 AT PAGE 11 OF OFFICIAL RECORDS OF BUCHANAN COUNTY, MISSOURI.

1/2 STREET IMPROVEMENT
TO BE COMPLETE WITH
FINAL PHASE

ALL THAT PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57), RANGE THIRTY-FIVE (35), DESCRIBED AS FOLLOWS: BEGINNING ON THE NORTH LINE OF THE STATE HIGHWAY WHICH RUNS EAST AND WEST ALONG THE SOUTH LINE OF SAID QUARTER SECTION AT A POINT 528.35 FEET EAST MEASURED ALONG THE NORTH LINE OF THE STATE HIGHWAY; OF THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22, RUNNING THENCE NORTH PARALLEL WITH THE WEST LINE OF SAID QUARTER SECTION, A DISTANCE OF 250.55 FEET, RUNNING THENCE EAST ALONG THE NORTH LINE OF A TRACT CONVEYED TO GEORGE C. MAYER AND WIFE, BY A DEED RECORDED IN BOOK 872 AT PAGE 54, A DISTANCE OF 83.75 FEET; THENCE SOUTH PARALLEL TO THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 269.84 FEET TO THE STATE HIGHWAY; THENCE WEST ALONG THE NORTH LINE OF SAID STATE HIGHWAY 61.75 FEET TO THE POINT OF BEGINNING. ALSO, A TRACT OF LAND BEING PART OF THE SOUTHWEST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP FIFTY-SEVEN (57), RANGE THIRTY-FIVE (35), BUCHANAN COUNTY, MISSOURI, AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF U.S. HIGHWAY 89 THAT IS 65.5 FEET NORTH AND 400 FEET EAST OF THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 22; THENCE ALONG SAID NORTH LINE OF U.S. HIGHWAY 89, S 88° 56' 50" E, 50.13 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE, S 88° 56' 50" E, 109.2 FEET, MORE OR LESS, TO THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO ROBERT J. SNIDER AND WIFE, BY DEED RECORDED IN BOOK 882 AT PAGE 80 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI; THENCE ALONG THE WEST LINE OF SAID SNIDER TRACT, N 00° 01' 20" W 160.97 FEET MORE OR LESS TO THE SOUTH LINE OF A TRACT OF LAND CONVEYED TO FRED BOLE AND WIFE ROSE, BY DEED IN BOOK 763 AT PAGE 213 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI; THENCE ALONG THE SOUTH LINE OF SAID BOLE PROPERTY, N 84° 49' 27" W, 31 FEET TO A POINT 87° 41' 27" E, 26.64 FEET FROM THE NORTHWEST CORNER OF A TRACT OF LAND CONVEYED TO HOWARD G. HAWKINS BY DEED RECORDED IN BOOK 793 AT PAGE 231 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI; THENCE S 01° 48' 30" W 266.18 FEET TO THE TRUE POINT OF BEGINNING.



VICINITY MAP
NOT TO SCALE

SETBACK PER CITY OF ST. JOSEPH ZONING CODE
C-3 SETBACK REQUIREMENTS
FRONT YARD: 60' FROM CENTERLINE OF
ROADWAY MIN 50'
SIDE YARD: NONE REQUIRED
REAR YARD: NONE REQUIRED

OWNER/APPLICANT
MOLAND CONSTRUCTION
SERVICES, LLC
108 N 2ND ST
GOWER, MO 64554

ENGINEER
SNYDER & ASSOCIATES, INC.
SHAWN DUKE, PE
816 FRANCIS STREET
ST. JOSEPH, MO 64501

TIMBER CREEK PLAT 3
PRELIMINARY PLAT
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.



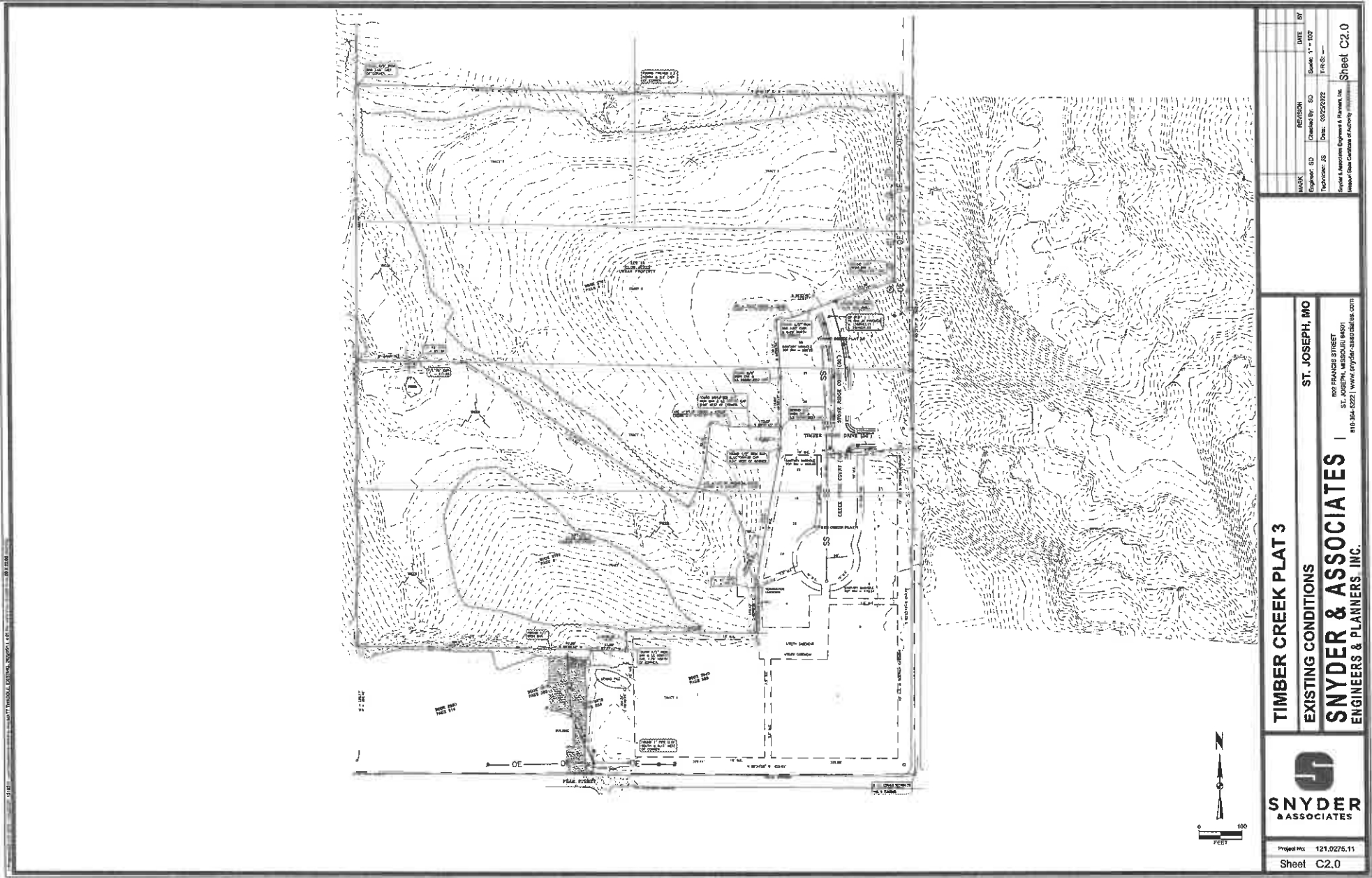
Printed No: 121.0275.11
Sheet C1.0

SHAWN DUKE - ENGINEER
MO PE#2013008486

ST. JOSEPH, MO
816 FRANCIS STREET
ST. JOSEPH, MISSOURI 64501
816-564-5022 | www.snyder-planners.com



REVISION
BY
DATE
Scale: 1" = 200'
1:6.8' = 1" = 16.8'
Engineer: SD
Created By: JSD
Date: 02/25/2022
Technician: JS
Project: Timber Creek Plats 1, 2, 3 & 4
Sheet C1.0

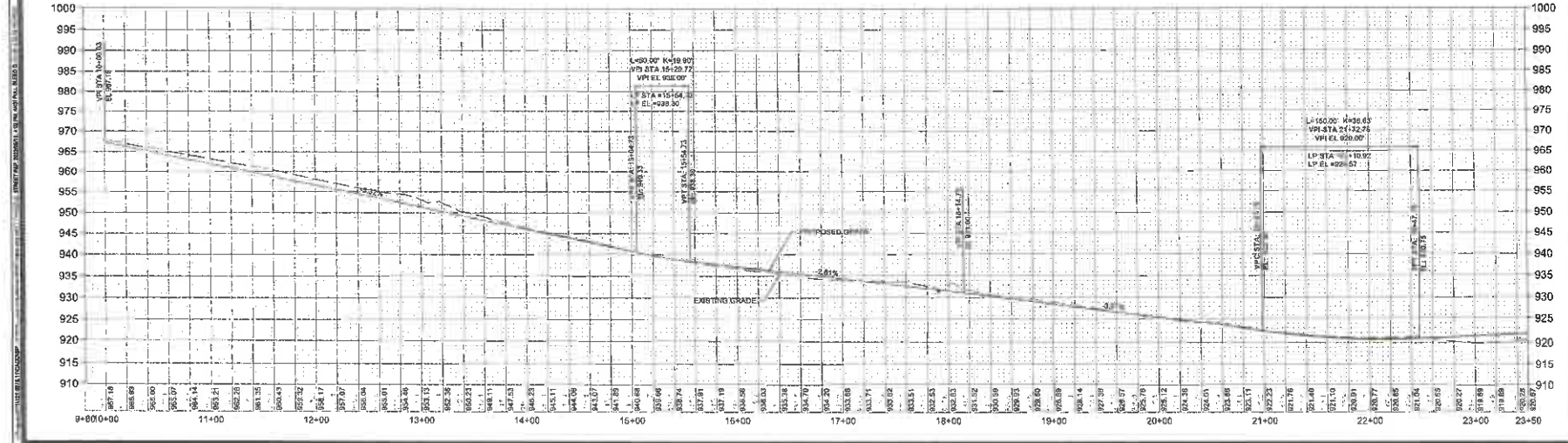
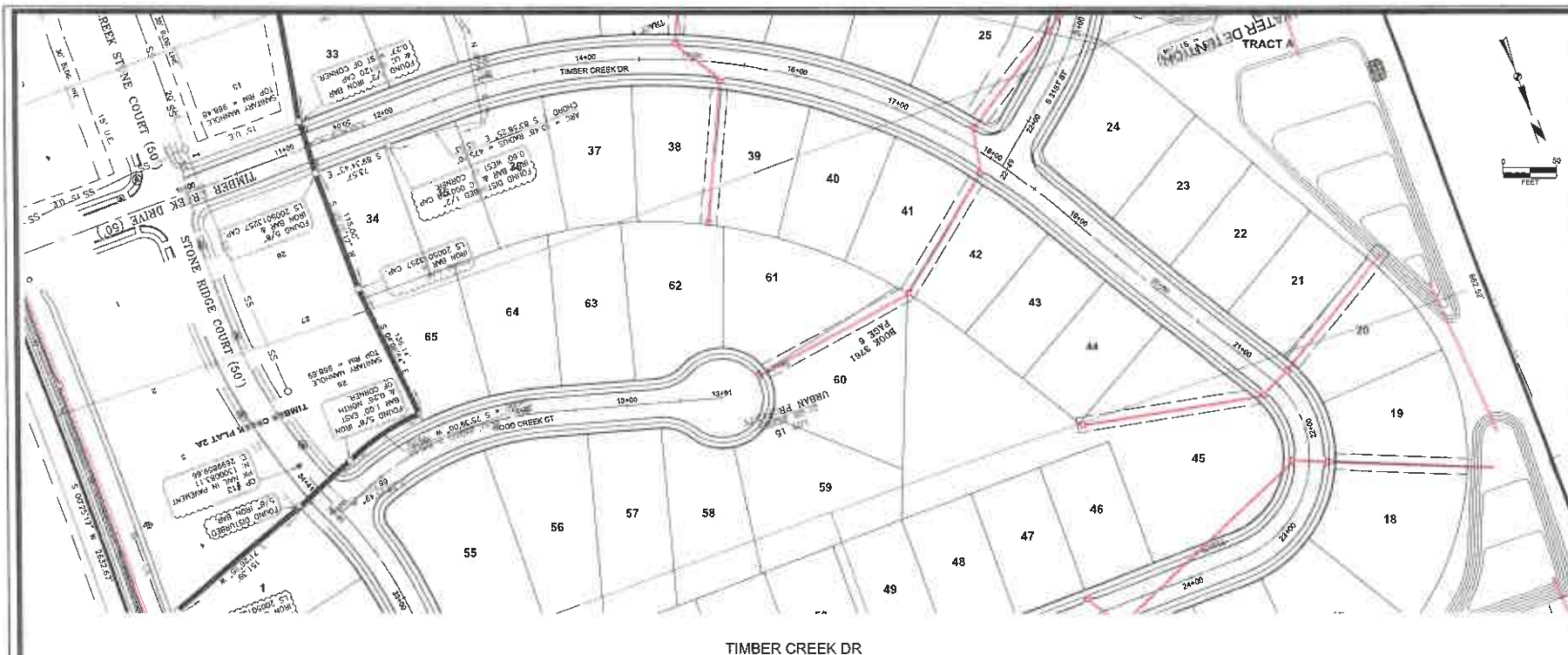


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Engineer: SD	Scale: 1" = 100'	
Technician: JS	Date: 03/25/2022	
Project: 121.0275.11		
Sheet C2.0		

TIMBER CREEK PLAT 3
EXISTING CONDITIONS
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.
ST. JOSEPH, MO
1027 FRANKIE STREET
ST. JOSEPH, MISSOURI 64501
816-344-5221 | www.snyder-associates.com



Project No. 121.0275.11
Sheet C2.0



DATE	BY	Scale	1" = 50'
REVISION	Created By	SD	02/25/2022
Engineer	SD	02/25/2022	1" = 6"
Technician	JB		
Shawn Duke, Engineer & Planner, Inc.			
Professional Seal of Engineer			

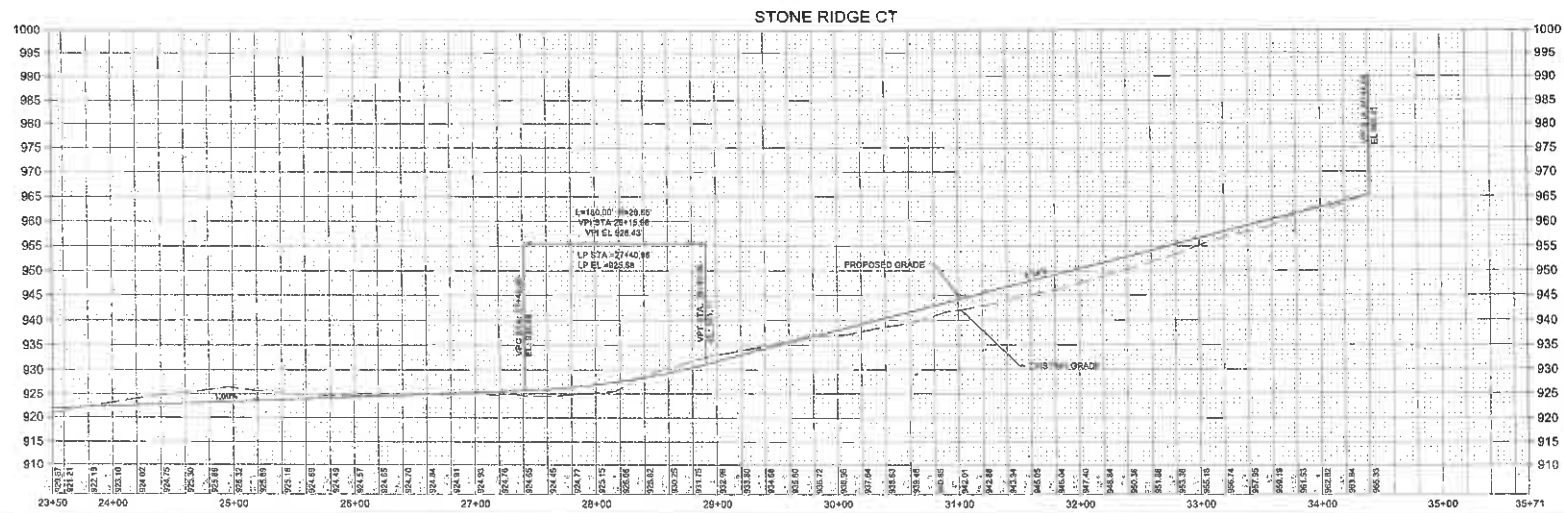
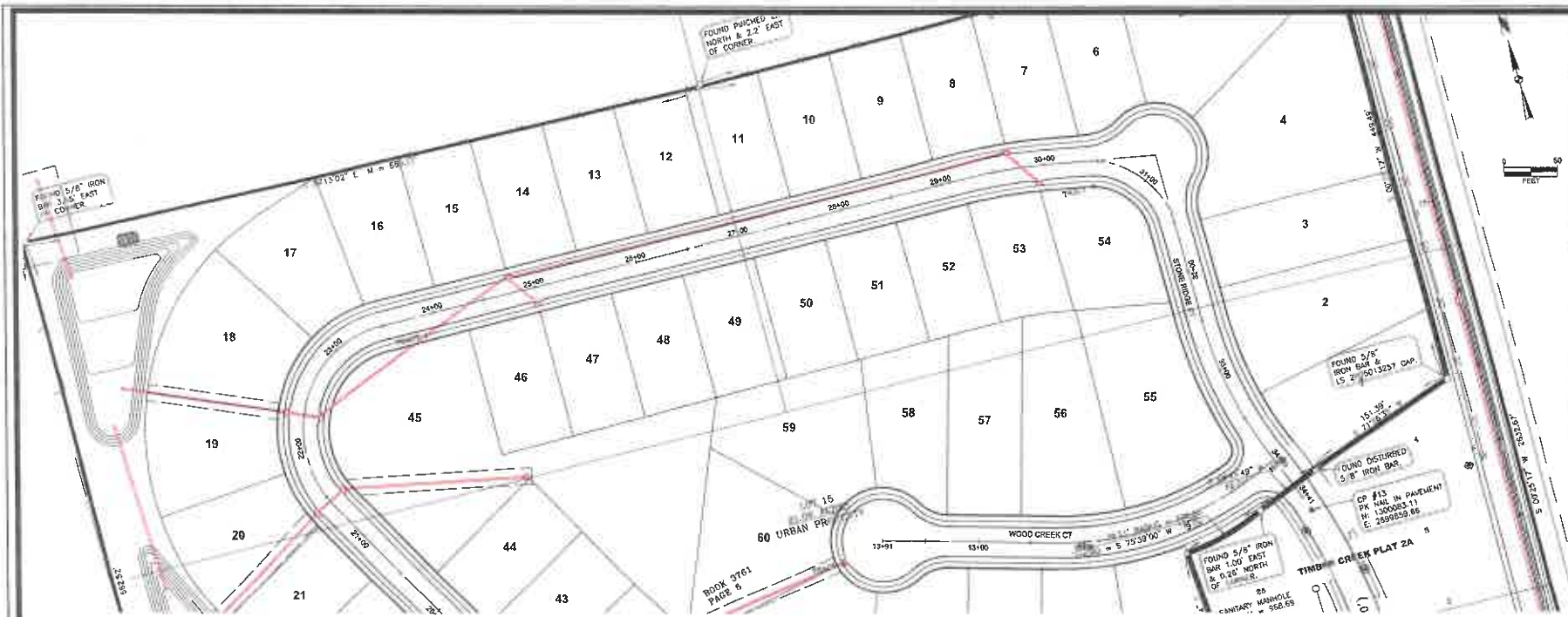
SHAWN DUKE - ENGINEER
MO PE#2013006489

ST. JOSEPH, MO
802 FRANKIE STREET
ST. JOSEPH, MISSOURI 64501
616.666.1221 | www.shawn-duke.com

TIMBER CREEK PLAT 3
ROAD PLAN AND PROFILES
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

SNYDER & ASSOCIATES

Project No: 121.0275.11
Sheet C5.0



DATE	BY	Scale	1" = 50'
REVISION	SD	Checked By	SD
MARK	SD	Engineer	JS
Project	Shawn Duke, Engineer		
Drawn	03/25/2022		
Sheet	C5.1		

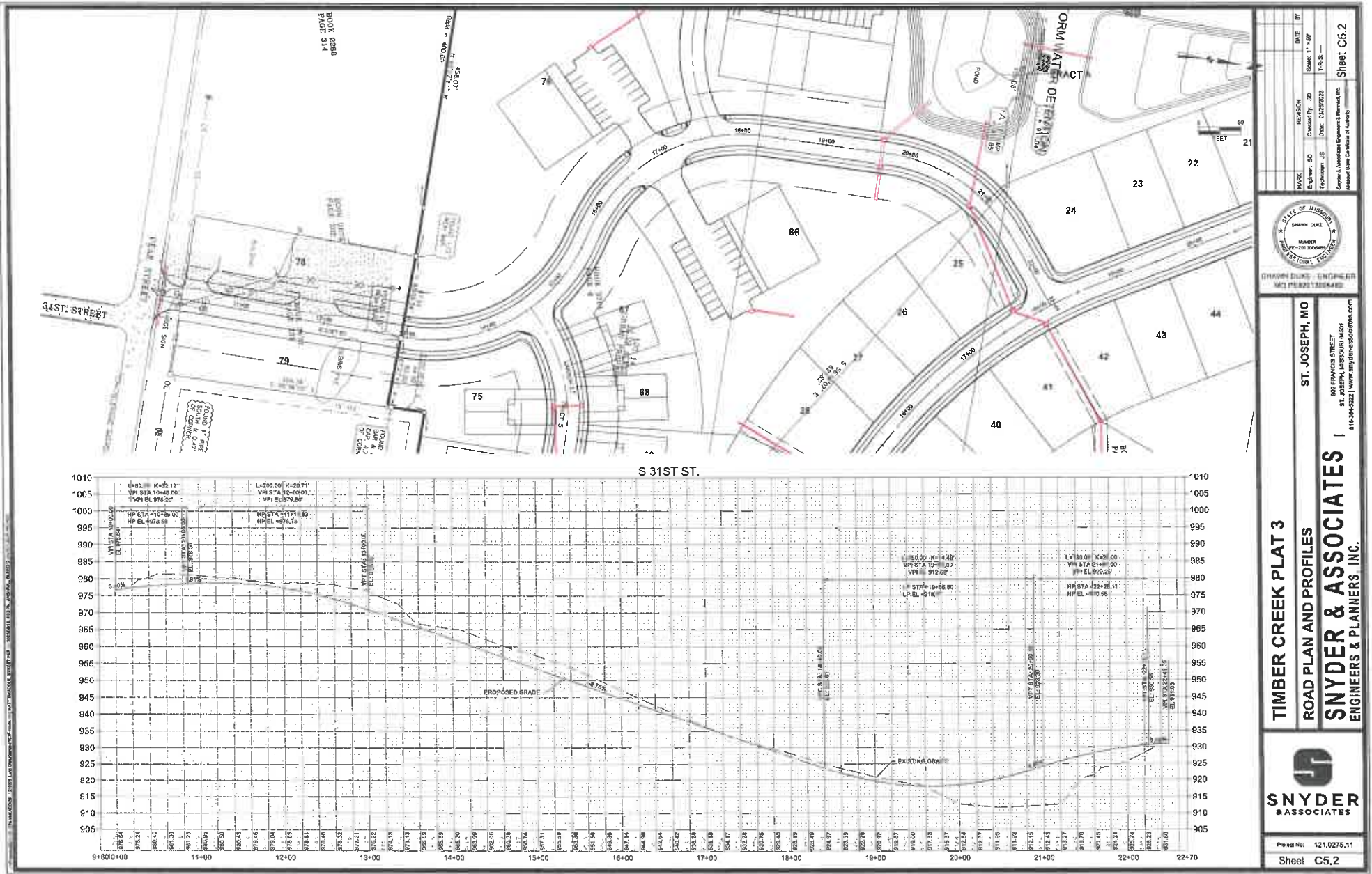
SHAWN DUKE - ENGINEER
MO PE#2013005489

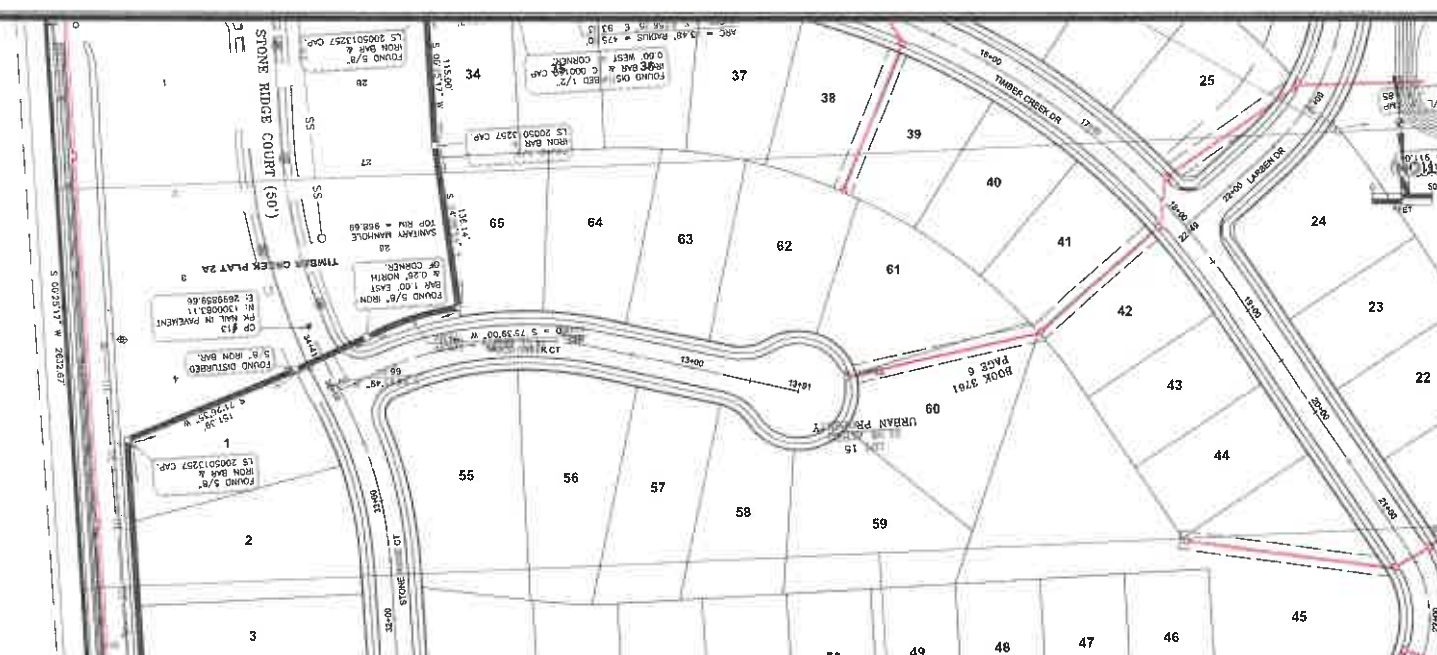
ST. JOSEPH, MO
602 FRANCIS STREET
ST. JOSEPH, MISSOURI 64501
616-944-2222 | www.snyder-planners.com

TIMBER CREEK PLAT 3
ROAD PLAN AND PROFILES
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

SNYDER & ASSOCIATES

Project No: 121.0275.11
Sheet C5.1



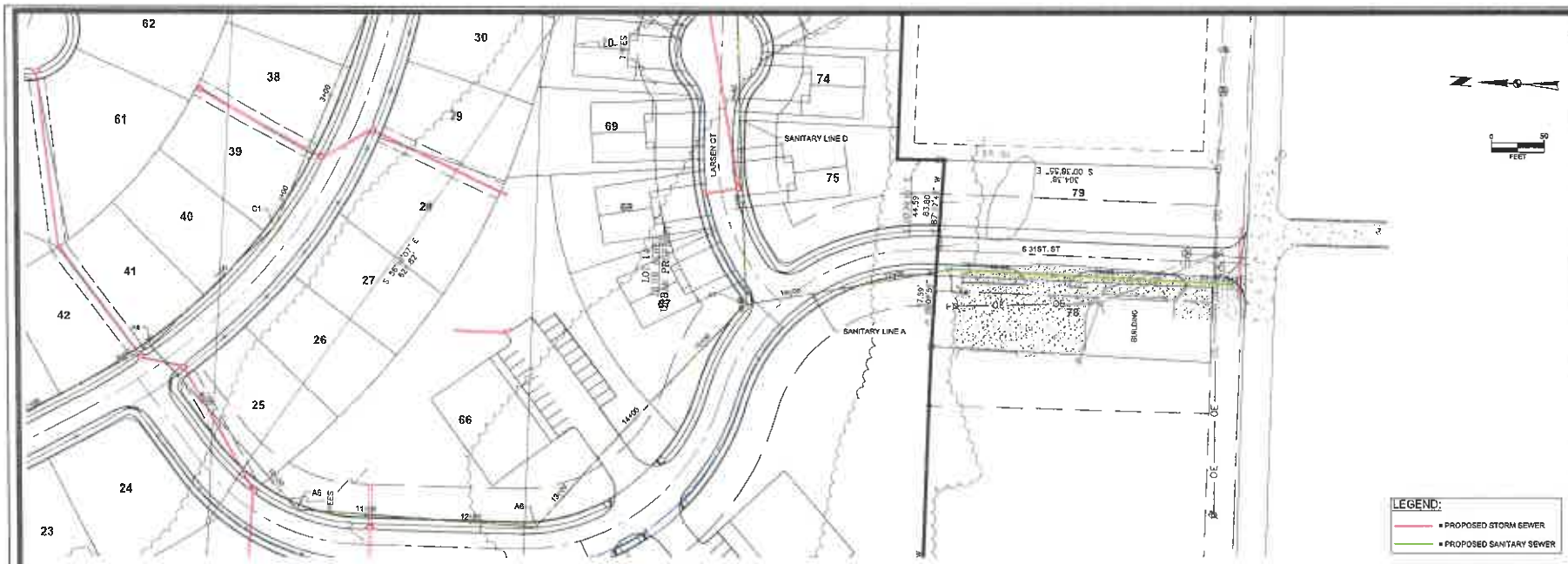


TIMBER CREEK PLAT 3		ROAD PLAN AND PROFILES		SNYDER & ASSOCIATES		ENGINEERS & PLANNERS, INC.	
 SNYDER & ASSOCIATES ENGINEERS & PLANNERS, INC.				Project No. 121.0275.11 Sheet C5.3			

TIMBER CREEK PLAT 3 ROAD PLAN AND PROFILES		SNYDER & ASSOCIATES ENGINEERS & PLANNERS, INC.	
PROJECT NO. 121.0275.11 SHEET NO. C5.3		DATE: 05/20/2012 SCALE: 1" = 50' DRAWN BY: JSD CHECKED BY: JSD DATE: 05/20/2012 PROJECT NO. 121.0275.11 SHEET NO. C5.3	

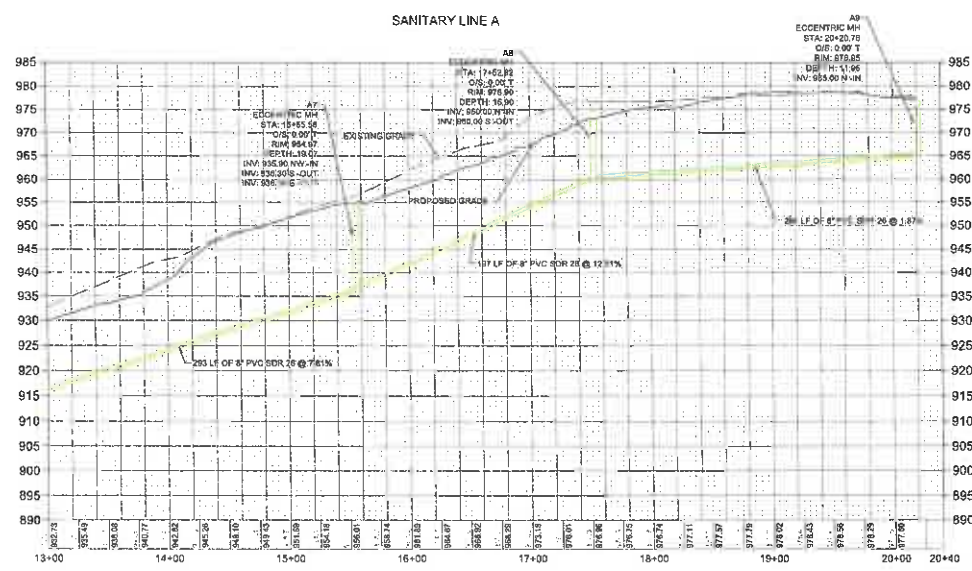
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LEGEND:

- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER



REVISION	DATE	BY
Engineer: SD	Checked By: SD	Scale: 1" = 50'
Tech: JS	Date: 08/25/2022	Title: —
Sheet C6.1		

SHAWN DUKE - ENGINEER
MO PE#2013008489

TIMBER CREEK PLAT 3

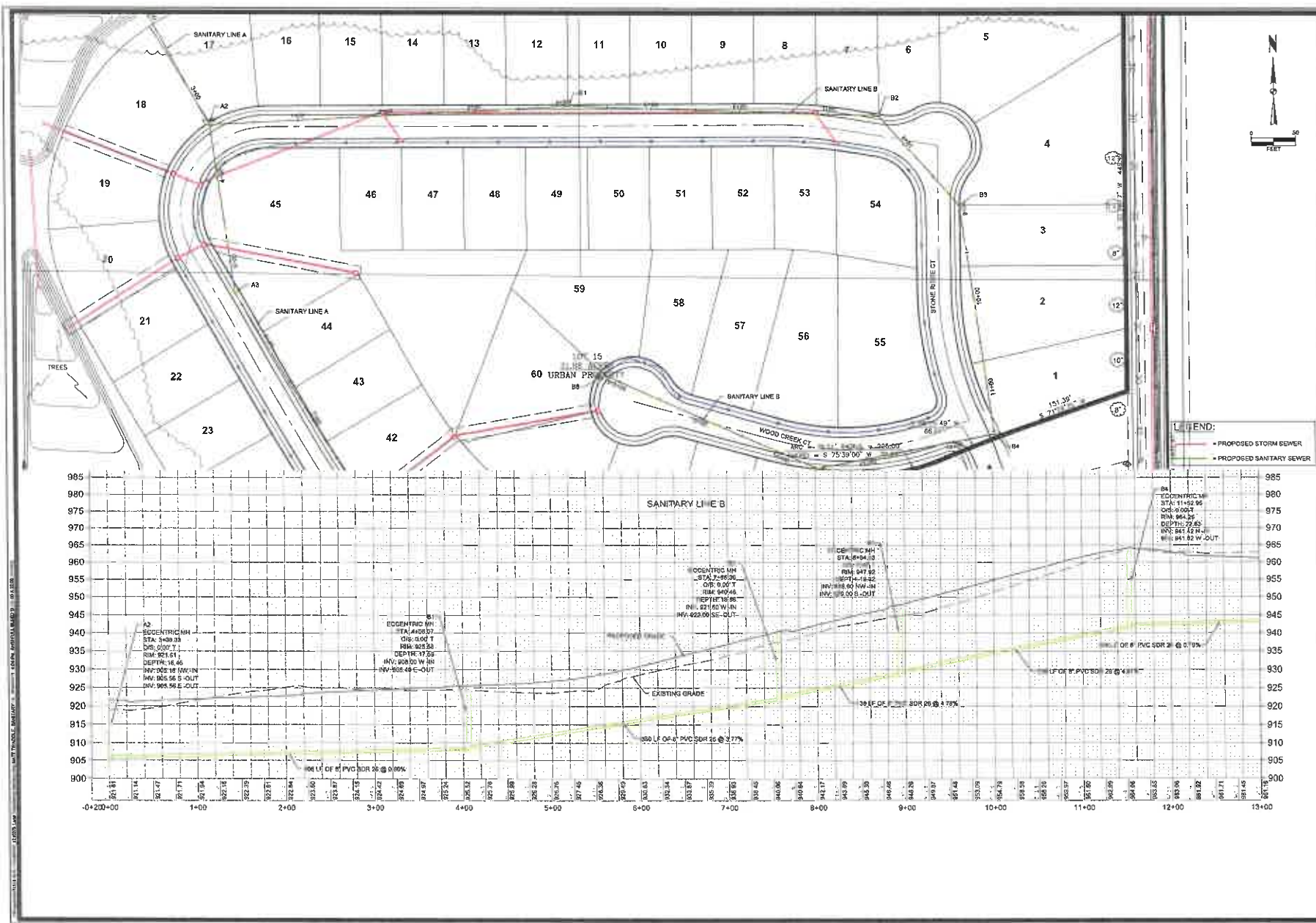
SANITARY SEWER PLAN AND PROFILE

ST. JOSEPH, MO

602 FINANCIAL STREET
ST. JOSEPH, MISSOURI 64501
816-364-3221 WWW.SNYDER-AND-ASSOCIATES.COM

SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

Project No: 121,0275.11
Sheet C6.1



DATE	BY
12/22/22	SD
12/22/22	SD
12/22/22	SD
12/22/22	SD

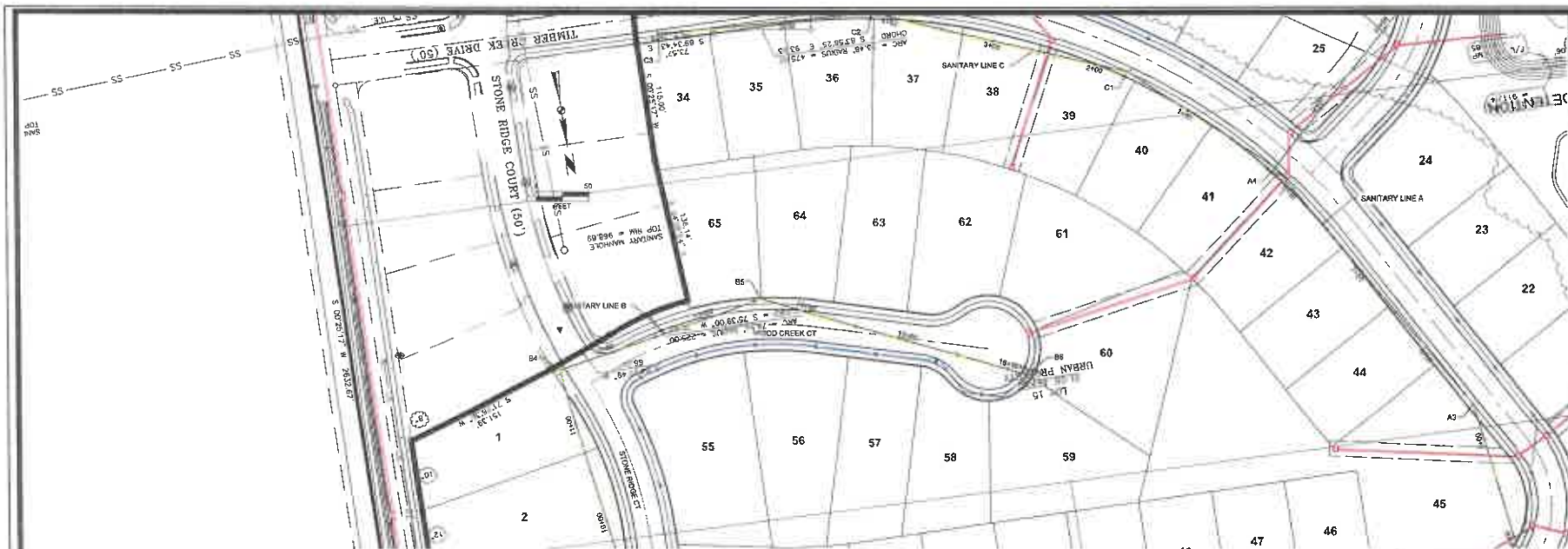
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SHAWN DUKE - ENGINEER
MO PE2013005489

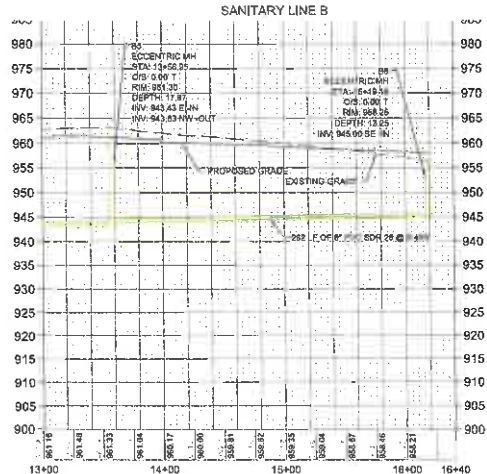
TIMBER CREEK PLAT 3
SANITARY SEWER PLAN AND PROFILE
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.

ST. JOSEPH, MO
803 FRANCIS STREET
ST. JOSEPH, MISSOURI 64501
816-346-3222 | www.snyder-associates.com

Project No: 121.0275.11
Sheet C6.2



LEGEND:
 * PROPOSED STORM SEWER
 * PROPOSED SANITARY SEWER



REVISION	DATE	BY
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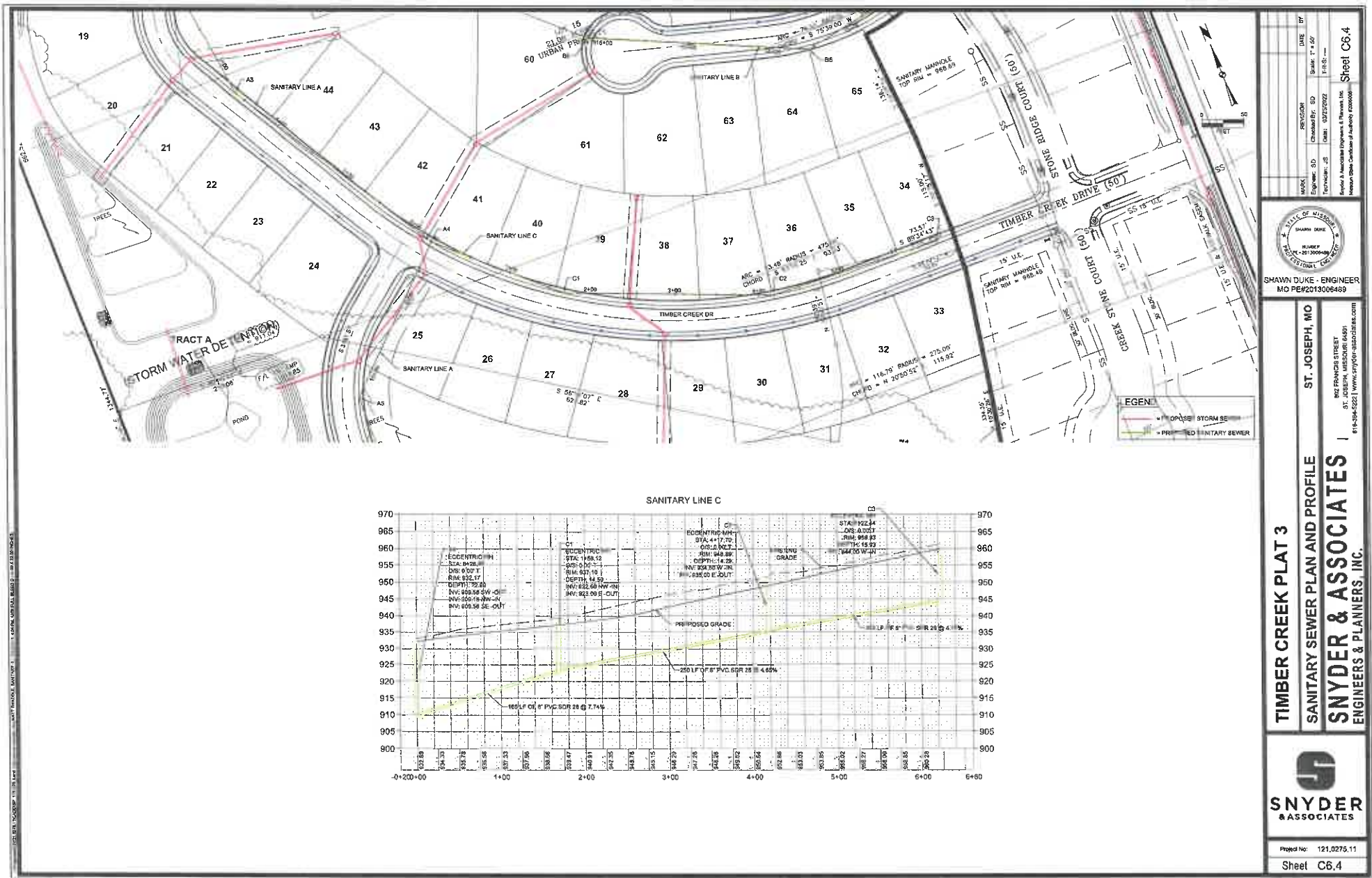
SHAWN DUKE - ENGINEER
 MO PE#2013000489

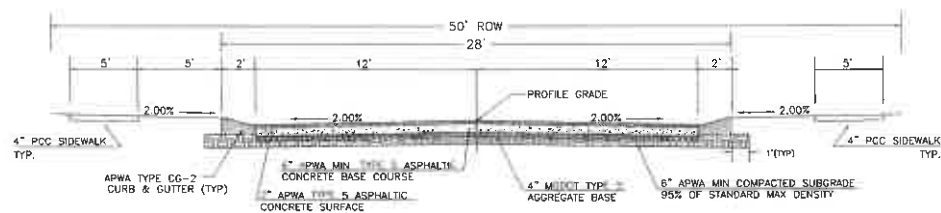
ST. JOSEPH, MO
 822 FRANKLIN STREET
 ST. JOSEPH, MISSOURI 64501
 816-464-0221 WWW.SNYDER-AND-ASSOCIATES.COM

TIMBER CREEK PLAT 3
SANITARY SEWER PLAN AND PROFILE
SNYDER & ASSOCIATES
 ENGINEERS & PLANNERS, INC.

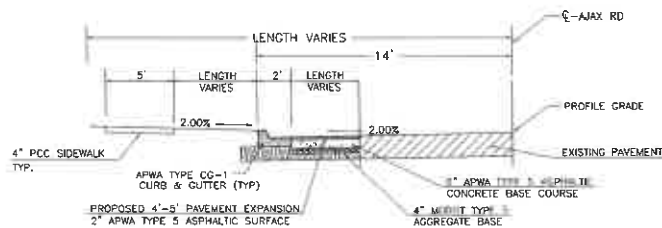


Project No: 121.0275.11
 Sheet C6.3





TYPICAL 50' R/W ASPHALT STREET SECTION
NOT TO SCALE



TYPICAL AJAX RD 1/2 STREET IMPROVEMENT SECTION
NOT TO SCALE

REVISION	DATE	BY
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SHAWN DUKE, ENGINEER
MO PE#201300488

ST. JOSEPH, MO
601 FRANCIS STREET
ST. JOSEPH, MISSOURI 64501
816-584-3222 | www.snyder-associates.com

TIMBER CREEK PLAT 3
TYPICAL STREET DETAILS
SNYDER & ASSOCIATES
ENGINEERS & PLANNERS, INC.



Project No. 121.0275.11
Sheet C7.0

April 22, 2022

Zackary Martin
City of St. Joseph
1100 Frederick Avenue
St. Joseph, MO 64501

RE: Timber Creek Residential Development:

Dear Mr. Martin,

The following are our responses to your comments.

Planning & Zoning Department

1. There is a potential issue in the naming of the plat as "Timber Creek" as there exists Timber Creek Plat 1 & Timber Creek Plat 2A. Recommend that the change be to Timber Creek Plat 3.
The preliminary plat has been renamed "Timber Creek Plat 3".
2. There is a discrepancy with the lot count. Application states 79 lots, however staff was only noted 76 and 2 tracts.
Lots and tracts have been renamed and renumbered to show 79 lots and 1 tract.
3. Recommend that existing "Tract" be relabeled as a storm easement, and "Tract D" be relabeled "Open Space" as those would appear to be the intent of those two areas.
The "Tract" has been relabeled to Tract A (Storm Water Detention) and "Tract D" has been relabeled with a lot #.
4. If property is being developed in phases, recommend that the phases be indicated on the preliminary plat.
Development phases have been added to the preliminary plat.
5. Easements are not clearly labeled as such.
Easements have been labeled.
6. Rename Larson Rd to South 31st Street or Terrace.
Larson Rd has been renamed to South 31st Street.

Legal

1. Required review of proposed covenants and restrictions of HOA for the subdivision.
Acknowledged they will be submitted by attorney.

Stormwater

1. The large tract in the northwest corner of the project, where the stormwater basins will be built, needs to be called a stormwater easement, not tract.
The tract has been labeled Tract A (Storm Water Detention) and a note has been added that the Tract will be dedicated as a Stormwater Drainage Easement.
2. Stormwater easements need to be clearly shown on the plans.
Stormwater easements have been added.
3. Include the phasing schedule for the stormwater facilities being built on the site.
Phasing has been added to the plans.
4. All projects with stormwater facilities are being required to submit O&M Manuals as part of the plan review.
 - O&M manual requirements:
 - Owner/operator must conduct a yearly inspection at their stormwater facility, and submit an inspection report to City, noting any issues, improvements, etc.
 - Include inspection forms in the O&M manual.**Acknowledged, this will be submitted with construction plans.**
5. The owner/operator will be required to sign a Stormwater Facility Maintenance Agreement with the City, prior to close out of the project.
Acknowledged, please provide a copy of the agreement for the developer's attorney to review.

6. The engineer must be onsite during the construction to ensure that the site is abiding by the approved plans.
We request this condition revised to state the owner to provide third party special inspection of the erosion and sediment control. Inspection to be conducted at a frequency as required by MDNR Stormwater Construction Permit.
7. The stormwater swale next to the road is listed as a 3:1 slope, this will cause the bank to erode easily and create issues for mowing.
Due to the large right of way width that would be required the developer has decided to use curb and gutter for all sections of roadway.

Public Works Division

1. Easements for sanitary and storm sewers not shown on Preliminary Plat or Civil Plans.
Easements have been added.
2. Half street improvements for subdivision frontage (entire frontage) not shown on Preliminary Plat or Civil Plans.
Half street improvement details have been included in plans to add curb & gutter, minor street widening to provide 12' pavement lane from centerline of street and to add sidewalk along Ajax along the length of development. Along the street frontage of Pear, a storm water drainage ditch has been added. A note has been added to the plans that the proposed improvements along Ajax will be constructed with the final phase as was previously discussed with the City prior to the developer purchasing the property.
3. Phasing of Platting or construction not shown on Preliminary Plat or Civil Plans (this will impact sanitary sewer and stormwater infrastructure progression along with areas of land disturbance and emergency service accessibility).
Phases have been added to the preliminary plat.
4. Larson property will need to be included in Preliminary Plat for rights of way/utility easement dedication along with Civil design for streets, sidewalks and entrances (showing existing entrance closed on Pear Street and ditch re-established along with storm water infrastructure).
The Larson property has been added to the Preliminary Plat.
5. A letter/property layout plan will need to be submitted detailing the decision to offset new street from existing street (S 31st Street) on the south side of Pear Street.
Mark Larsen has stated to us that he desires for his property to be equally divided to allow the existing building to remain as is with a 15' setback from the right of way thus allowing for as large of a lot as possible on the east side of the proposed street.
6. Minor traffic study will be required due to the planned multi-family units for the new entrance to Pear Street.
The Minor Traffic Study is included with this letter.
7. Tracts should be labeled Greenway, Storm Water and Utility Easements.
Tract A will be a Storm Water Tract. It has been labeled. Everything else has been labeled with lot number.
8. Sanitary Sewer line needs to extend from MH A-8 to Pear Street rights of way.
Sanitary sewer has been extended, however we asked for explanation as to reason for requiring the extension since only the two lots on the Larsen property can be served by this line, this puts the manhole at the top of hill and the lots on the south side of Pear already have existing sewer service.
9. Show approximate locations of detention pond overflow weirs and discharge piping along with grading of channels directing water away from adjacent property owners to the west side of the development.
Preliminary detention pond outfalls have been added to the plans. A proposed drainage easement has been shown on the property to the north and the development has discussed this with the property owner to the north. An easement will be obtained with the construction plans.



10. A condition of approval will be that the engineer of record will be on site during all construction to verify and record that approved plans are being built to specification and that permitted land disturbance BMP's are maintained properly throughout construction and repaired as needed until 100% of ground cover has been restored to the site.

We request this condition revised to state the owner to provide third party special inspection of the erosion and sediment control. Inspection to be conducted at a frequency as required by MDNR Stormwater Construction Permit.

11. It is noted that an environmental roadway section will be used through a portion of this subdivision, add a typical driveway entrance with piping through the ditch sections within the areas of effected lots.

These sections of roadway have been removed from the plans All roadway to be per City standard cross sections.

If you have any additional questions or comment do not hesitate to contact me.

Thank you,
SNYDER & ASSOCIATES, INC.

Shawn Duke, PE
Project Manager/Engineer



TIMBER CREEK PLAT 3 RESIDENTIAL SUBDIVISION

Pear Street Traffic Impact Letter
St. Joseph, MO

St. Joseph, Missouri | May 9, 2022

Prepared for:

Midland Construction Services, LLC
108 N. Second
Gower, MO 64454

Snyder & Associates, Inc. Project No. 121.0275.11

Prepared by:



TABLE OF CONTENTS

Introduction.....	2
Analysis of Existing Conditions	2
Pedestrian/Transit/Bicycle Accommodations	2
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INTRODUCTION

Midland Construction Services, LLC is proposing to construct a new residential subdivision on a partly vacant lot, located approximately 760 feet west of the Pear Street and Ajax Road intersection, within the city limits of St. Joseph. This Traffic Impact Letter (TIL) reviews the proposed access from Pear Street to the proposed development and any anticipated traffic impacts from the proposed residential subdivision.

ANALYSIS OF EXISTING CONDITIONS

Pear Street is an undivided two-lane minor suburban roadway. The posted speed limit is 40 mph along the proposed residential subdivision site. There are fifteen (15) existing single-family detached homes on the project site and will be included in the existing traffic conditions since they all access Ajax Road by way of existing Timber Creek Drive. The project site has no existing access to Pear Street, but has one full access along Ajax Road 840 feet north of the intersection with Pear Street. The nearest streets along Pear Street are located at the intersection of 31st Street just on the south side of Pear Street, 30th Street 350 feet to the west, and the intersection of Ajax Road approximately 760 feet to the east. All access to the proposed site comes from the north via Ajax Road, and from the south, east and west via Pear Street.

The study area, as seen in **Exhibit 1**, includes the proposed site in relation to the adjacent parcels. The proposed site is currently zoned “RP-2” and “R-1B”, which are defined as “Planned Two-Family Residential District” and “Detached Single-Family Residential District”. Surrounding land uses are mostly R-1A, R-1B and RP-4, residential, with some C-1 and C-3, commercial, to the south of the project site.

Pedestrian/Transit/Bicycle Accommodations

There are no pedestrian, bicycle or transit specific accommodations on or along Pear Street. The local transit bus (The Ride) has a drop-off location near the intersection of Pear Street and 30th Street, which is serviced once per hour. From field observations, there are very few bicycle and pedestrian users in vicinity of the project site.

Traffic Volumes

AADT traffic data for 2018-2021 was obtained from the Missouri DOT Datazone website for Pear Street near the intersection at 31st Street, the location of the proposed access. Since the counts from 2018-19 were taken prior to the period of COVID-19 pandemic decreased traffic volumes, that data is valid for comparison with projected existing conditions. This historic data was used to calculate the background traffic growth.

Background traffic has minimally increased between 2018 and 2019 and is projected to exhibit a nominal annual increase of 1.01%. The historic, existing year (2022), opening year (2023) and design year (2043) AADT projections for Pear Street in the project area are shown in **Table 1**. The AM and PM estimated peak hour background traffic for the Design Year is shown in **Exhibit 5**.

Table 1: Historic Data and AADT Projections – Pear Street

Year	AADT (veh/day)
2018	5,325
2019	5,379
2022 (projected existing year)	5,543
2023 (projected opening year)	5,599
2043 (projected design year)	6,845

PROPOSED DEVELOPMENT

The proposed improvement, as seen in **Exhibit 2**, is expected to be a residential subdivision encompassing approximately 33 acres. Among the various dwelling types constructed will be single-family homes, two-family duplexes, and multi-family apartments. The site does have an existing access on Ajax Road by the use of Timber Creek Drive, but there is no existing entrance on Pear Street. The subdivision will access Pear Street via a full-access entrance near South 31st Street on the south side of Pear Street. There are no plans for expansion of the facility beyond the boundaries of the existing property lines.

ANALYSIS OF FUTURE CONDITIONS

Trip Generation

Estimated trip generation was calculated using data provided in the Institute of Transportation Engineers (ITE) *Trip Generation Manual, 11th Edition*. The planned land uses for the development were identified as “Single-Family Detached Housing” (ITE Code: 210) with 40 dwelling units as the independent variable, “Single-Family Attached Housing” (ITE Code: 215) with 35 dwelling units, and “Multifamily Housing (Low-Rise)” (ITE Code: 420) with 32 dwelling units as the independent variable. ITE Trip Generation Manual estimates values of 58 trips in the AM Peak Hour and 74 in the PM Peak Hour, as shown in **Table 2**.

Table 2: ITE Estimated Trip Generation, Proposed Residential Subdivision

Land Use	ITE Code	Quantity	Unit	Rate	AM Peak			PM Peak			
					Total Trips	Entering	Exiting	Rate	Total Trips	Entering	Exiting
Single-family Detached Housing	210	40	Dwelling Units	0.70	28	7	21	0.94	38	24	14
Single-family Attached Housing	215	35	Dwelling Units	0.48	17	5	12	0.57	20	11	9
Multifamily Housing (Low-Rise)	220	32	Dwelling Units	0.40	13	3	10	0.51	16	10	6
Total					58	15	43		74	45	29

TRIP DISTRIBUTION

Given the project site’s location near the intersection of Pear Street and Ajax Road, and existing traffic characteristics, the following assumptions are made for trip distribution:

- All residential traffic coming to the subdivision from the south will approach the site from the entrance on Pear Street. That same traffic will exit in the opposite direction of travel.
- All other residential traffic, approaching from the north via Ajax Road, will use the existing Timber Creek Street on Ajax Road to enter and exit the site.
- With existing traffic patterns showing much more travel along Pear Street, 79% of the traffic heads south of the project location, and east or west on Pear Street, while the remaining 21% heads north on Ajax Road to the more residential areas. Therefore, proposed development-created traffic will be distributed as such. **Table 3** shows the estimated number of trips generated by the development that

use the existing Timber Creek Drive at Ajax Road entrance. **Table 4** depicts the estimated number of trips generated that access the subdivision via the proposed Pear Street at South 31st Terrace entrance.

Table 3: ITE Estimated Trip Generation, Timber Creek Drive at Ajax Road

Land Use	ITE Code	Quantity	Unit	Rate	AM Peak			Rate	PM Peak		
					Total Trips	Entering	Exiting		Total Trips	Entering	Exiting
Single-family Detached Housing	210	29	Dwelling Units	0.70	20	5	15	0.94	27	17	10
Single-family Attached Housing	215	13	Dwelling Units	0.48	6	2	4	0.57	7	4	3
Total					26	7	19		34	21	13

Table 4: ITE Estimated Trip Generation, Pear Street at South 31st Terrace

Land Use	ITE Code	Quantity	Unit	Rate	AM Peak			Rate	PM Peak		
					Total Trips	Entering	Exiting		Total Trips	Entering	Exiting
Single-family Detached Housing	210	11	Dwelling Units	0.70	8	2	6	0.94	10	6	4
Single-family Attached Housing	215	22	Dwelling Units	0.48	11	3	8	0.57	13	7	6
Multifamily Housing (Low-Rise)	220	32	Dwelling Units	0.40	13	3	10	0.51	16	10	6
Total					32	8	24		39	23	16

Since many estimated new trips to and from the site are using Pear Street, new trips and volumes along Pear Street were evaluated at the intersection of Pear Street and the proposed entrance (tentatively named South 31st Terrace). To determine the magnitude of change imparted to this intersection from the proposed development. Existing traffic distribution is shown in **Exhibit 3**. Estimated trip distribution for the proposed site improvements, new peak hour trip turning movement volumes, and total peak hour turning movement traffic forecasts with the planned development are shown in **Exhibit 4** (Opening Year) and **Exhibit 5** (Design Year).

TRAFFIC OPERATIONS ANALYSIS

Given intersection capacity analyses were completed for Existing Conditions, Opening Year (2023), and Design Year (2043) traffic at the study intersections of South 31st Terrace and Ajax Road at Pear Street. Analyses were conducted for the AM and PM peak hours. These analyses were performed using *Synchro 11* software and methods for signalized intersections and *Highway Capacity Manual 6th Edition (HCM 6th)* methods for unsignalized intersections. **Table** shows the Level of Service (LOS) criteria for determining operational performance. LOS A provides the least delay, and LOS F provides the most delay. Typically, LOS D is the minimum acceptable LOS for urban intersection approaches. However, LOS E-F is not unusual for stop controlled minor street or driveway approaches to higher volume arterial streets during peak hours.

Table 5. Level of Service (LOS) Definition

LOS	Average Delay per Vehicle (seconds)	
	Signalized Intersection	Unsignalized Intersection
A	< 10	< 10
B	10 to 20	10 to 15
C	20 to 35	15 to 25
D	35 to 55	25 to 35
E	55 to 80	35 to 50
F	> 80 or V/C > 1.0	> 50 or V/C > 1.0

V/C = Volume to Capacity Ratio

Table 6 summarizes the *Synchro 11* and *HCM 6th Edition* analysis results with existing geometry and traffic control without the proposed development, and with the proposed development in the Opening Year (2023) and Design Year (2043), during both the AM and PM peak hours. With Existing Conditions traffic, The Pear Street at South 31st Terrace intersection was not analyzed since it does not exist, but the Pear Street at Ajax Road intersection average delay encountered is 2.2 seconds per vehicle in the AM Peak and 1.8 seconds per vehicle during the PM Peak. During the Opening Year, the Pear Street at Ajax Road intersection experiences average delays of 2.3 and 1.9 seconds per vehicle during the AM and PM Peaks, respectively. The proposed Pear Street at South 31st Terrace intersection's delays are in the 0.5-0.7 seconds per vehicle range. In the Design year, similar acceptable operations (2.4 & 2.2 seconds for Pear Street at Ajax Road and 0.7 & 0.5 seconds for Pear Street at South 31st Terrace average delays) are projected.

Table 6. *Synchro 11* and *HCM 6th* Analysis Results

Scenario	Intersection	Control Type	AM Peak		PM Peak	
			Avg Delay (sec)	LOS	Avg Delay (sec)	LOS
Existing Conditions (2022)	Pear St & Ajax Road	TWSC	2.2	A	1.8	A
Opening Year (2023)	Pear St & South 31 st Terr	TWSC	0.7	A	0.5	A
	Pear St & Ajax Road	TWSC	2.3	A	1.9	A
Design Year (2043)	Pear St & South 31 st Terr	TWSC	0.7	A	0.5	A
	Pear St & Ajax Road	TWSC	2.4	A	2.2	A

CONCLUSIONS AND RECOMMENDATIONS

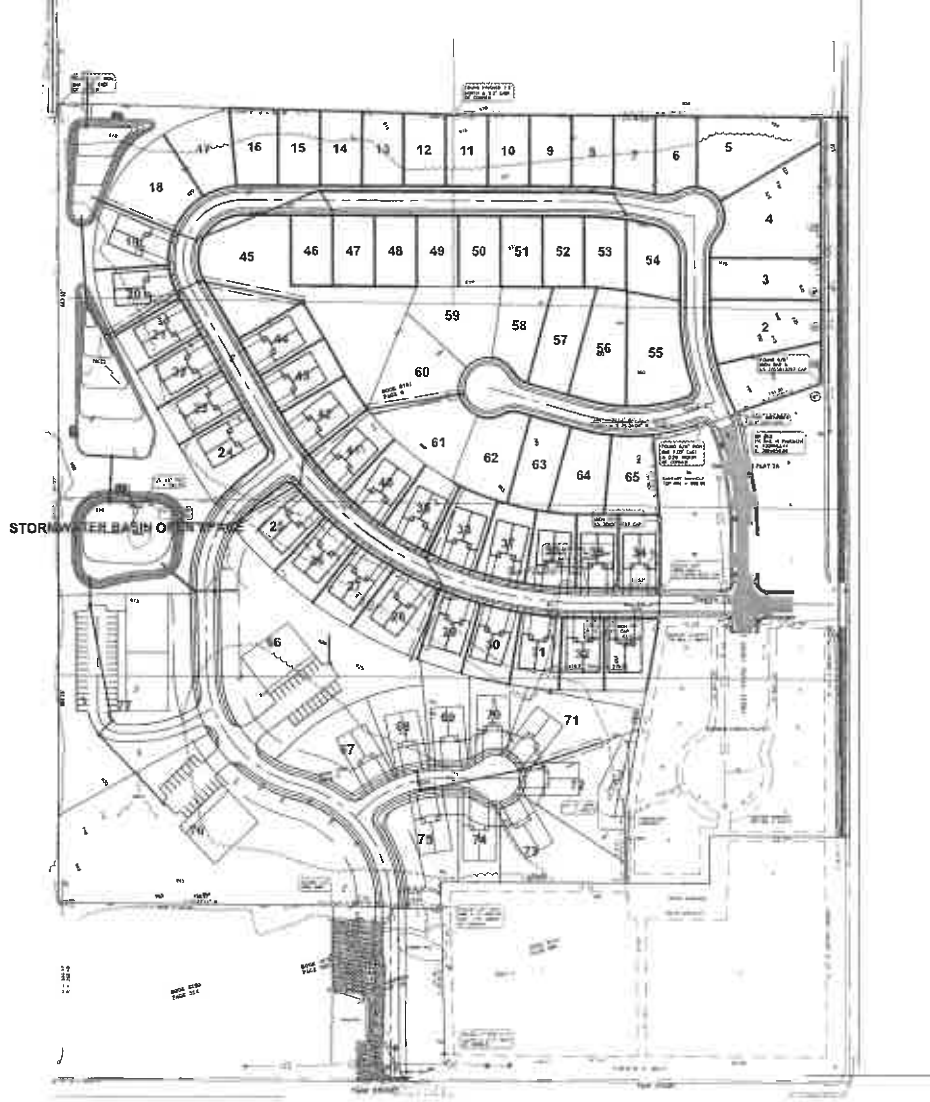
The construction of the proposed Residential Subdivision will result in a minimal increase in overall traffic volume from site-generated trips on Pear Street during the opening year (2023). These additional trips are well within the existing capacity of Pear Street and only increases the current average delay by 0.1 seconds/vehicle, while not reducing from the existing LOS A. Given the amount of existing traffic traveling the Pear Street corridor, the turning radii of the Pear Street at Ajax Road intersection and proposed Pear Street at South 31st Terrace entrance will be sufficient to handle the increase of traffic and is acceptable for any turning needs generated by the new Residential Subdivision. Looking further into the future design year (2043), the proposed Residential Subdivision's generated trips will only increase the average delays by another 0.1-0.3 seconds/vehicle, still remaining a solid LOS A. All existing intersection geometrics are adequate to accommodate the addition of the Residential Subdivision traffic.


APPENDIX A

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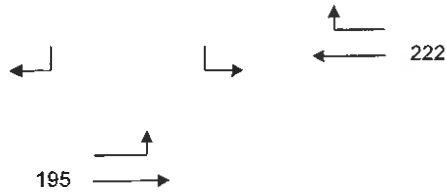


 SNYDER & ASSOCIATES ENGINEERS & PLANNERS, INC.		TIMBER CREEK PRELIMINARY PLAT ST. JOSEPH, MO	PROJECT NO. 121,0275.11 SHEET C3.0
802 FRANKLIN STREET ST. JOSEPH, MO 64501 (816) 944-2221 www.snyder-associates.com		REVISION ENGINEER: JS CHECKED BY: SD DATE: 11-25-2021	DATE: 11-25-2021 SCALE: 1" = 100' SHEET C3.0

Existing Peak Hour Traffic

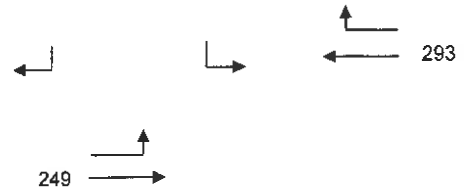
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

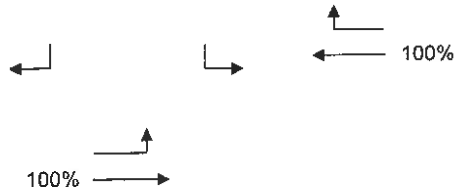
Pear St & S 31 St Terr



Existing Trip Distribution

AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr

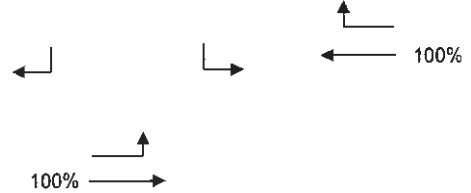
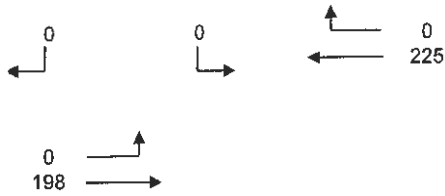


Exhibit 3: Existing (2022) Traffic Volumes

Opening Year Background Traffic

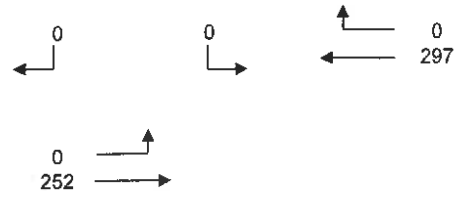
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

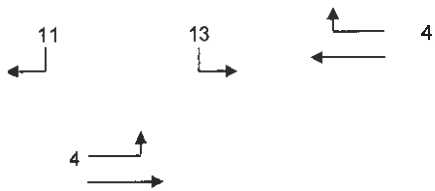
Pear St & S 31 St Terr



Opening Year Peak Hour New Trips

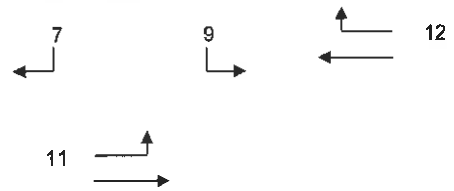
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr



Trip Generation

Entering 8
Exiting 24

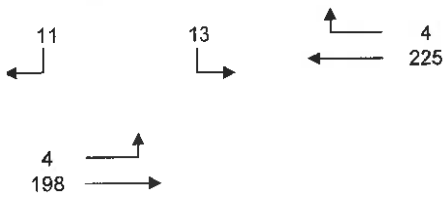
Trip Generation

Entering 23
Exiting 16

Opening Year Peak Hour Total Traffic

AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr

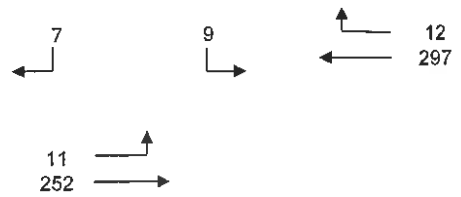
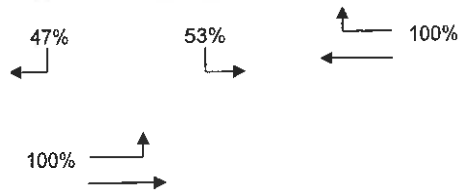


Exhibit 4: Opening Year (2023) Traffic Volumes

Design Year Trip Distribution

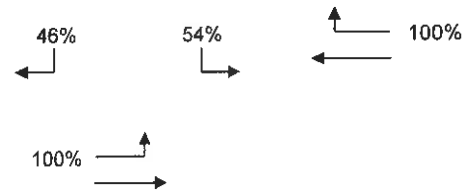
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

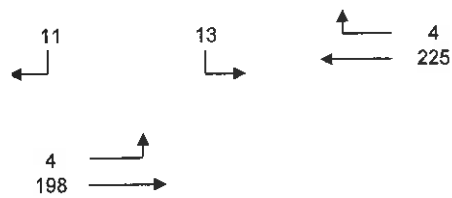
Pear St & S 31 St Terr



Design Year Background Traffic

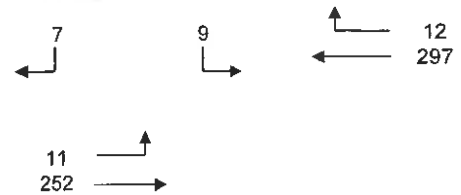
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

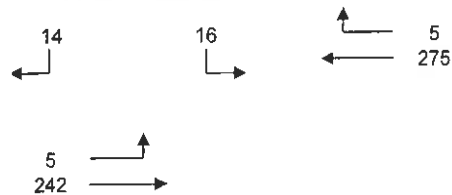
Pear St & S 31 St Terr



Design Year Peak Hour Traffic

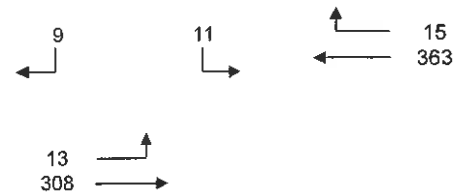
AM Peak Hour

Pear St & S 31 St Terr



PM Peak Hour

Pear St & S 31 St Terr



Pear St Annual Growth Rate 1.0%
Growth Factor 2023 - 2043 1.2226



Exhibit 5: Design Year (2043) Traffic Volumes

HCM 6th TWSC
8: Ajax Rd & Pear St

05/09/2022

Intersection

Int Delay, s/veh 2.2

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		+			+			+			+	
Traffic Vol, veh/h	22	169	4	8	205	33	5	8	35	14	7	12
Future Vol, veh/h	22	169	4	8	205	33	5	8	35	14	7	12
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	24	184	4	9	223	36	5	9	38	15	8	13

Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	259	0	0	188	0	0	504	511	186	517	495	241
Stage 1	-	-	-	-	-	-	234	234	-	259	259	-
Stage 2	-	-	-	-	-	-	270	277	-	258	236	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1311	-	-	1392	-	-	480	467	859	470	477	800
Stage 1	-	-	-	-	-	-	771	713	-	748	695	-
Stage 2	-	-	-	-	-	-	738	683	-	749	712	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1311	-	-	1392	-	-	456	454	859	433	464	800
Mov Cap-2 Maneuver	-	-	-	-	-	-	456	454	-	433	464	-
Stage 1	-	-	-	-	-	-	756	699	-	733	689	-
Stage 2	-	-	-	-	-	-	712	678	-	693	698	-

Approach	EB		WB		NB		SB
HCM Control Delay, s	0.9		0.2		10.6		12.3
HCM LOS					B		B




Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	692	1311	-	-	1392	-	-	529
HCM Lane V/C Ratio	0.075	0.018	-	-	0.006	-	-	0.068
HCM Control Delay (s)	10.6	7.8	0	-	7.6	0	-	12.3
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.2	0.1	-	-	0	-	-	0.2

Intersection												
Int Delay, s/veh	1.8											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		↕			↕			↕			↕	
Traffic Vol, veh/h	5	237	7	13	281	30	9	7	11	33	8	3
Future Vol, veh/h	5	237	7	13	281	30	9	7	11	33	8	3
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	5	258	8	14	305	33	10	8	12	36	9	3

Major/Minor	Major1		Major2		Minor1		Minor2	
Conflicting Flow All	338	0	0	266	0	0	628	632
Stage 1	-	-	-	-	-	-	272	350
Stage 2	-	-	-	-	-	-	356	282
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	3.309
Pot Cap-1 Maneuver	1227	-	-	1304	-	-	397	394
Stage 1	-	-	-	-	-	-	736	669
Stage 2	-	-	-	-	-	-	664	727
Platoon blocked, %	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1227	-	-	1304	-	-	383	377
Mov Cap-2 Maneuver	-	-	-	-	-	-	383	377
Stage 1	-	-	-	-	-	-	732	666
Stage 2	-	-	-	-	-	-	643	704

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.2	0.3	12.9	15.4
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	485	1227	-	-	1304	-	-	393
HCM Lane V/C Ratio	0.061	0.004	-	-	0.011	-	-	0.122
HCM Control Delay (s)	12.9	7.9	0	-	7.8	0	-	15.4
HCM Lane LOS	B	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.4

Intersection						
Int Delay, s/veh	0.7					
Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	4	198	225	4	13	11
Future Vol, veh/h	4	198	225	4	13	11
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	4	215	245	4	14	12

Major/Minor	Major1	Major2	Minor2		
Conflicting Flow All	249	0	-	0	470 247
Stage 1	-	-	-	-	247 -
Stage 2	-	-	-	-	223 -
Critical Hdwy	4.11	-	-	-	6.41 6.21
Critical Hdwy Stg 1	-	-	-	-	5.41 -
Critical Hdwy Stg 2	-	-	-	-	5.41 -
Follow-up Hdwy	2.209	-	-	-	3.509 3.309
Pot Cap-1 Maneuver	1323	-	-	-	554 794
Stage 1	-	-	-	-	796 -
Stage 2	-	-	-	-	816 -
Platoon blocked, %	-	-	-	-	-
Mov Cap-1 Maneuver	1323	-	-	-	552 794
Mov Cap-2 Maneuver	-	-	-	-	552 -
Stage 1	-	-	-	-	794 -
Stage 2	-	-	-	-	816 -

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	10.8
HCM LOS	B		

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1323	-	-	-	642
HCM Lane V/C Ratio	0.003	-	-	-	0.041
HCM Control Delay (s)	7.7	0	-	-	10.8
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection

Int Delay, s/veh 2.3

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		🚗			🚗			🚗			🚗	
Traffic Vol, veh/h	23	171	5	9	207	34	6	9	36	15	8	13
Future Vol, veh/h	23	171	5	9	207	34	6	9	36	15	8	13
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	25	186	5	10	225	37	7	10	39	16	9	14

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	262	0	0	191	0	0	514	521	189	527	505	244
Stage 1	-	-	-	-	-	-	239	239	-	264	264	-
Stage 2	-	-	-	-	-	-	275	282	-	263	241	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1308	-	-	1389	-	-	473	461	855	463	471	797
Stage 1	-	-	-	-	-	-	767	709	-	743	692	-
Stage 2	-	-	-	-	-	-	733	680	-	744	708	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1308	-	-	1389	-	-	448	448	855	425	457	797
Mov Cap-2 Maneuver	-	-	-	-	-	-	448	448	-	425	457	-
Stage 1	-	-	-	-	-	-	751	694	-	727	686	-
Stage 2	-	-	-	-	-	-	705	675	-	685	693	-

Approach	EB		WB		NB		SB
HCM Control Delay, s	0.9		0.3		10.8		12.5
HCM LOS					B		B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	675	1308	-	-	1389	-	-	521
HCM Lane V/C Ratio	0.082	0.019	-	-	0.007	-	-	0.075
HCM Control Delay (s)	10.8	7.8	0	-	7.6	0	-	12.5
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.3	0.1	-	-	0	-	-	0.2

Intersection

Int Delay, s/veh 0.5

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		4	1		Y	
Traffic Vol, veh/h	11	252	297	12	9	7
Future Vol, veh/h	11	252	297	12	9	7
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	12	274	323	13	10	8

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	336	0	0 628 330
Stage 1	-	-	- 330 -
Stage 2	-	-	- 298 -
Critical Hdwy	4.11	-	- 6.41 6.21
Critical Hdwy Stg 1	-	-	- 5.41 -
Critical Hdwy Stg 2	-	-	- 5.41 -
Follow-up Hdwy	2.209	-	- 3.509 3.309
Pot Cap-1 Maneuver	1229	-	- 448 714
Stage 1	-	-	- 731 -
Stage 2	-	-	- 755 -
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1229	-	- 443 714
Mov Cap-2 Maneuver	-	-	- 443 -
Stage 1	-	-	- 722 -
Stage 2	-	-	- 755 -

Approach	EB	WB	SB
HCM Control Delay, s	0.3	0	12
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1229	-	-	-	531
HCM Lane V/C Ratio	0.01	-	-	-	0.033
HCM Control Delay (s)	8	0	-	-	12
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection

Int Delay, s/veh 1.9

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations		🚗			🚗			🚗			🚗	
Traffic Vol, veh/h	6	239	8	14	284	31	10	8	12	34	9	4
Future Vol, veh/h	6	239	8	14	284	31	10	8	12	34	9	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	7	260	9	15	309	34	11	9	13	37	10	4




Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	343	0	0	269	0	0	642	652	265	646	639	326
Stage 1	-	-	-	-	-	-	279	279	-	356	356	-
Stage 2	-	-	-	-	-	-	363	373	-	290	283	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1222	-	-	1300	-	-	388	388	776	386	395	718
Stage 1	-	-	-	-	-	-	730	682	-	664	631	-
Stage 2	-	-	-	-	-	-	658	620	-	720	679	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1222	-	-	1300	-	-	372	380	776	367	387	718
Mov Cap-2 Maneuver	-	-	-	-	-	-	372	380	-	367	387	-
Stage 1	-	-	-	-	-	-	725	677	-	659	622	-
Stage 2	-	-	-	-	-	-	635	611	-	694	674	-

Approach	EB	WB	NB	SB
HCM Control Delay, s	0.2	0.3	13.2	15.7
HCM LOS			B	C

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	473	1222	-	-	1300	-	-	387
HCM Lane V/C Ratio	0.069	0.005	-	-	0.012	-	-	0.132
HCM Control Delay (s)	13.2	8	0	-	7.8	0	-	15.7
HCM Lane LOS	B	A	A	-	A	A	-	C
HCM 95th %tile Q(veh)	0.2	0	-	-	0	-	-	0.5

Intersection

Int Delay, s/veh 0.7

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations						
Traffic Vol, veh/h	5	242	275	5	16	14
Future Vol, veh/h	5	242	275	5	16	14
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	5	263	299	5	17	15

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	304	0	575
Stage 1	-	-	302
Stage 2	-	-	273
Critical Hdwy	4.11	-	6.41
Critical Hdwy Stg 1	-	-	5.41
Critical Hdwy Stg 2	-	-	5.41
Follow-up Hdwy	2.209	-	3.509
Pot Cap-1 Maneuver	1263	-	481
Stage 1	-	-	752
Stage 2	-	-	775
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1263	-	479
Mov Cap-2 Maneuver	-	-	479
Stage 1	-	-	748
Stage 2	-	-	775

Approach	EB	WB	SB
HCM Control Delay, s	0.2	0	11.7
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1263	-	-	-	573
HCM Lane V/C Ratio	0.004	-	-	-	0.057
HCM Control Delay (s)	7.9	0	-	-	11.7
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.2

HCM 6th TWSC
8: Ajax Rd & Pear St

05/09/2022

Intersection

Int Delay, s/veh 2.4

Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	27	211	5	10	247	41	7	10	43	17	9	15
Future Vol, veh/h	27	211	5	10	247	41	7	10	43	17	9	15
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	29	229	5	11	268	45	8	11	47	18	10	16

Major/Minor	Major1		Major2		Minor1		Minor2					
Conflicting Flow All	313	0	0	234	0	0	616	625	232	632	605	291
Stage 1	-	-	-	-	-	-	290	290	-	313	313	-
Stage 2	-	-	-	-	-	-	326	335	-	319	292	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1253	-	-	1339	-	-	404	403	810	394	413	751
Stage 1	-	-	-	-	-	-	720	674	-	700	659	-
Stage 2	-	-	-	-	-	-	689	644	-	695	673	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1253	-	-	1339	-	-	377	388	810	353	398	751
Mov Cap-2 Maneuver	-	-	-	-	-	-	377	388	-	353	398	-
Stage 1	-	-	-	-	-	-	701	656	-	681	652	-
Stage 2	-	-	-	-	-	-	657	638	-	627	655	-

Approach	EB		WB		NB		SB
HCM Control Delay, s	0.9		0.3		11.5		13.8
HCM LOS					B		B

Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1
Capacity (veh/h)	616	1253	-	-	1339	-	-	452
HCM Lane V/C Ratio	0.106	0.023	-	-	0.008	-	-	0.099
HCM Control Delay (s)	11.5	7.9	0	-	7.7	0	-	13.8
HCM Lane LOS	B	A	A	-	A	A	-	B
HCM 95th %tile Q(veh)	0.4	0.1	-	-	0	-	-	0.3

Intersection:





Int Delay, s/veh 0.5

Movement	EBL	EBT	WBT	WBR	SBL	SBR
Lane Configurations		↕	↕		↕	↕
Traffic Vol, veh/h	13	308	363	15	11	9
Future Vol, veh/h	13	308	363	15	11	9
Conflicting Peds, #/hr	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Stop	Stop
RT Channelized	-	None	-	None	-	None
Storage Length	-	-	-	-	0	-
Veh in Median Storage, #	-	0	0	-	0	-
Grade, %	-	0	0	-	0	-
Peak Hour Factor	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1
Mvmt Flow	14	335	395	16	12	10

Major/Minor	Major1	Major2	Minor2
Conflicting Flow All	411	0	0
Stage 1	-	-	-
Stage 2	-	-	-
Critical Hdwy	4.11	-	-
Critical Hdwy Stg 1	-	-	-
Critical Hdwy Stg 2	-	-	-
Follow-up Hdwy	2.209	-	-
Pot Cap-1 Maneuver	1153	-	-
Stage 1	-	-	-
Stage 2	-	-	-
Platoon blocked, %	-	-	-
Mov Cap-1 Maneuver	1153	-	-
Mov Cap-2 Maneuver	-	-	-
Stage 1	-	-	-
Stage 2	-	-	-

Approach	EB	WB	SB
HCM Control Delay, s	0.3	0	13.3
HCM LOS			B

Minor Lane/Major Mvmt	EBL	EBT	WBT	WBR	SBLn1
Capacity (veh/h)	1153	-	-	-	456
HCM Lane V/C Ratio	0.012	-	-	-	0.048
HCM Control Delay (s)	8.2	0	-	-	13.3
HCM Lane LOS	A	A	-	-	B
HCM 95th %tile Q(veh)	0	-	-	-	0.1

Intersection												
Int Delay, s/veh	2.2											
Movement	EBL	EBT	EBR	WBL	WBT	WBR	NBL	NBT	NBR	SBL	SBT	SBR
Lane Configurations												
Traffic Vol, veh/h	6	293	9	16	347	37	11	9	14	41	10	4
Future Vol, veh/h	6	293	9	16	347	37	11	9	14	41	10	4
Conflicting Peds, #/hr	0	0	0	0	0	0	0	0	0	0	0	0
Sign Control	Free	Free	Free	Free	Free	Free	Stop	Stop	Stop	Stop	Stop	Stop
RT Channelized	-	-	None	-	-	None	-	-	None	-	-	None
Storage Length	-	-	-	-	-	-	-	-	-	-	-	-
Veh in Median Storage, #	-	0	-	-	0	-	-	0	-	-	0	-
Grade, %	-	0	-	-	0	-	-	0	-	-	0	-
Peak Hour Factor	92	92	92	92	92	92	92	92	92	92	92	92
Heavy Vehicles, %	1	1	1	1	1	1	1	1	1	1	1	1
Mvmt Flow	7	318	10	17	377	40	12	10	15	45	11	4
Major/Minor	Major1			Major2			Minor1			Minor2		
Conflicting Flow All	417	0	0	328	0	0	776	788	323	781	773	397
Stage 1	-	-	-	-	-	-	337	337	-	431	431	-
Stage 2	-	-	-	-	-	-	439	451	-	350	342	-
Critical Hdwy	4.11	-	-	4.11	-	-	7.11	6.51	6.21	7.11	6.51	6.21
Critical Hdwy Stg 1	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Critical Hdwy Stg 2	-	-	-	-	-	-	6.11	5.51	-	6.11	5.51	-
Follow-up Hdwy	2.209	-	-	2.209	-	-	3.509	4.009	3.309	3.509	4.009	3.309
Pot Cap-1 Maneuver	1147	-	-	1237	-	-	316	324	720	313	331	655
Stage 1	-	-	-	-	-	-	679	643	-	605	585	-
Stage 2	-	-	-	-	-	-	599	573	-	669	640	-
Platoon blocked, %	-	-	-	-	-	-	-	-	-	-	-	-
Mov Cap-1 Maneuver	1147	-	-	1237	-	-	300	316	720	294	323	655
Mov Cap-2 Maneuver	-	-	-	-	-	-	300	316	-	294	323	-
Stage 1	-	-	-	-	-	-	674	638	-	601	574	-
Stage 2	-	-	-	-	-	-	573	563	-	640	636	-
Approach	EB			WB			NB			SB		
HCM Control Delay, s	0.2			0.3			14.9			19.3		
HCM LOS							B			C		
Minor Lane/Major Mvmt	NBLn1	EBL	EBT	EBR	WBL	WBT	WBR	SBLn1				
Capacity (veh/h)	402	1147	-	-	1237	-	-	312				
HCM Lane V/C Ratio	0.092	0.006	-	-	0.014	-	-	0.192				
HCM Control Delay (s)	14.9	8.2	0	-	8	0	-	19.3				
HCM Lane LOS	B	A	A	-	A	A	-	C				
HCM 95th %tile Q(veh)	0.3	0	-	-	0	-	-	0.7				



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

April 5, 2022

VIA CERTIFIED MAIL

Applicant: Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location: 3200 Timber Creek Drive & 3002 Ajax Road
Regarding: Approval of a Preliminary Plat for a Major Subdivision entitled Timber Creek Subdivision.

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on April 28, 2022 on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is for the approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision. The proposed subdivision is comprised of approximately 79 lots within approximately 34.26 acres. The purpose of the major subdivision is to allow for development of a mix of single-family, two-family, and three apartment buildings to be developed on the site.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter.

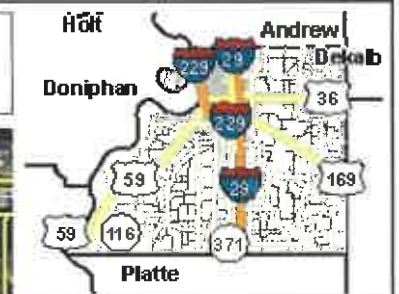
Sincerely,

A handwritten signature in blue ink, appearing to be "ZM", is written above the name Zack Martin.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

3002 Ajax Road & 3200 Timber Creek Drive



Legend

- Road
- <all other values>
 - Interstate
 - State Highway L
 - State Highway N
 - U.S. Highway
- Railroad
- Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

[illegible]

3000 Ajax Rd & 3200 Timber Creek Dr

Subdivision

April

WATERS TIMOTHY A & SHARON K TRUST	2929 S 29TH ST	2929 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	4788	73
NIGH BUDDY R	3202 CREEK STONE CT	3202 CREEKSTONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4788	04
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3137 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155	9171	9690	0935	0262	4787	98
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4787	67
RICHARDSON ROGERS L & CAROLYN J	2813 AJAX RD	2813 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	4787	50
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	4787	81
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	4787	74
TAYLOR SANDRA S	3108 STONE RIDGE CT	3108 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	89
WILLIAMS JEFFERY H & GEORGIA C	3208 CREEK STONE CT	3208 CREEK STONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	72
LEACH JASON	2901 S 29TH ST	828 SHERIDAN RD	WATHENA	KS	66090	9171	9690	0935	0262	5006	66
RICHEY TERRY L & ANGELA S	3123 S 29TH ST	3123 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	96
KIRKPATRICK KENNETH E	3001 S 29TH ST	3001 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	65
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	34
DAVIS MICHAEL L & AMANDA S	3206 CREEK STONE CT	3206 CREEK STONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	41
KWAK MYONG S	3013 AJAX RD	3013 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	58
BUTRICK DARRELL DEAN	3110 STONE RIDGE CT	3110 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	27
MCLAUGHLIN KYLE J	3001 AJAX RD	3001 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	10
HAWK JAMES L & PENNY LE	2933 PEAR ST	9782 SE HILLYARD RD	EASTON	MO	64443	9171	9690	0935	0262	4788	97
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	4789	03



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

April 19, 2022

Applicant: Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.

Location: 3200 Timber Creek Drive & 3002 Ajax Road

Regarding: Application for a Preliminary Plat for a Major Subdivision entitled **Timber Creek Subdivision**, and an application **Zoning District Change** from RP-2 & R-1B to RP-3

You recently received a letter regarding two applications coming before the Planning Commission during the April 28, 2022 meeting. The applicant has requested the items be postponed and therefore the items will not be on the April agenda. At this time, we expect the items to be placed on the May agenda. The city will send certified letters to property owners within 185ft of these application locations in advance of the May meeting. If you wish to make a comment in favor or in opposition of the items on the May agenda, a form will be included with the notification letter.

The May Planning Commission meeting will be held on May 19, 2022 in the third floor Council Chambers, 1100 Frederick at 5:30pm.

Further questions may be directed to the Planning & Zoning division.

Sincerely,

A handwritten signature in blue ink, appearing to be "ZM" or "Zack Martin", written over a light blue circular stamp.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

Timber Creek Postponement letter

Owner Name	Situs Address	Mailing Address			
DALSING STEVEN P & SUSAN E	3027 S 29TH ST	3027 S 29TH ST	ST JOSEPH	MO	64503
BUNSE WILBUR VALENTINE & BARBARA A	2909 AJAX RD	2909 AJAX RD	ST JOSEPH	MO	64503
COMEAU AMANDA L	3005 AJAX RD	2517 S 19TH ST	ST JOSEPH	MO	64503
PERLERA ADRIAN	2905 S 29TH ST	317 LA JARA LN	EMPORIA	KS	66801
MAUDLIN ALEXANDER R & HANNAH K	2809 AJAX RD	2809 AJAX RD	ST JOSEPH	MO	64503
BAHR LEO A & CINDY L	3105 STONE RIDGE CT	3105 STONE RIDGE CT	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3408 AJAX RD	9110 N GARFIELD	KANSAS CITY	MO	64155
TIMBER CREEK AT BOLZ FARM LLC	3103 STONE RIDGE CT	507 ALEXANDRIA CT	GOWER	MO	64454
HOME GROWN PROPERTIES LLC	2907 S 29TH ST	PO BOX 8576	ST JOSEPH	MO	64508
JONES DAVID	3107 STONE RIDGE CT	3107 STONE RIDGE CT	ST JOSEPH	MO	64503
GODSEY PRESTON & MELINDA	3013 S 29TH ST	3013 S 29TH ST	ST JOSEPH	MO	64503
SMITH NICHOLAS	3003 S 29TH ST	1306 E JOSEPH ST	ST JOSEPH	MO	64504
PECK JOHN W & PECK, GAIL A	3011 S 29TH ST	3011 S 29TH ST	ST JOSEPH	MO	64503
CLINE STEVEN W	3203 CREEK STONE CT	3203 CREEK STONE CT	ST JOSEPH	MO	64503
JANSEN MATTHEW E & TIFFANY M	2905 AJAX RD	2905 AJAX RD	ST JOSEPH	MO	64503
MERRITT AUSTYN Z & STOCKTON, EARIAN	2817 AJAX RD	2817 AJAX RD	ST JOSEPH	MO	64503
LARSEN MARK & JENNIFER	3011 PEAR ST	2926 PEAR ST	ST JOSEPH	MO	64503
MIDLAND CONSTRUCTION SERVICES LLC	3002 AJAX RD	PO BOX 204	GOWER	MO	64454
SANDER MICHAEL & BRIDGETTE	3029 S 29TH ST	3029 S 29TH ST	ST JOSEPH	MO	64503
ZIMMERMAN LUCAS	3023 S 29TH ST	3023 S 29TH ST	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3105 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155
HOVENGA PATRICIA JOANN	2902 AJAX RD	2902 AJAX RD	ST JOSEPH	MO	64503
PETERS SEAN & ERICHA	3109 STONE RIDGE CT	3109 STONE RIDGE CT	ST JOSEPH	MO	64503
MIDLALND CONSTRUCTION SERVICES LLC	3200 TIMBER CREEK D	PO BOX 204	GOWER	MO	64454
PARKER BERTHA	2909 S 29TH ST	2909 S 29TH ST	ST JOSEPH	MO	64503
NICHOLS MATTHEW R	3201 CREEK STONE CT	3201 CREEK STONE CT	ST JOSEPH	MO	64503
BEGER ROBERT W & JULIE A	3009 AJAX RD	3009 AJAX RD	ST JOSEPH	MO	64503
HOWE ANDREA L	3101 S 29TH ST	3101 S 29TH ST	ST JOSEPH	MO	64506
BARBER ELSIE GEORGENEA TRUST	3204 CREEK STONE CT	3204 CREEK STONE CT	ST JOSEPH	MO	64503
HACKETT JACOB W & JUSTINA M	3019 S 29TH ST	3019 S 29TH ST	ST JOSEPH	MO	64503
CRUM BRUCE & BOBBIE	3003 PEAR ST	3807 AJAX RD	ST JOSEPH	MO	64503
MACKLEY LINDA LOUISE LE	3121 S 29TH ST	3121 S 29TH ST	ST JOSEPH	MO	64503
SHUMAN DAVID	3209 CREEK STONE CT	3209 CREEK STONE CT	ST JOSEPH	MO	64503

WATERS TIMOTHY A & SHARON K TRUST	2929 S 29TH ST	2929 S 29TH ST	ST JOSEPH	MO	64503
NIGH BUDDY R	3202 CREEK STONE CT	3202 CREEKSTONE CT	ST JOSEPH	MO	64503
BOLZ CARL TR & BOLZ, ALBERT TR ETAL C/	3137 PEAR ST	9110 N GARFIELD	KANSAS CITY	MO	64155
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503
RICHARDSON ROGERS L & CAROLYN J	2813 AJAX RD	2813 AJAX RD	ST JOSEPH	MO	64503
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503
TAYLOR SANDRA S	3108 STONE RIDGE CT	3108 STONE RIDGE CT	ST JOSEPH	MO	64503
WILLIAMS JEFFERY H & GEORGIA C	3208 CREEK STONE CT	3208 CREEK STONE CT	ST JOSEPH	MO	64503
LEACH JASON	2901 S 29TH ST	828 SHERIDAN RD	WATHENA	KS	66090
RICHEY TERRY L & ANGELA S	3123 S 29TH ST	3123 S 29TH ST	ST JOSEPH	MO	64503
KIRKPATRICK KENNETH E	3001 S 29TH ST	3001 S 29TH ST	ST JOSEPH	MO	64503
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503
DAVIS MICHAEL L & AMANDA S	3206 CREEK STONE CT	3206 CREEK STONE CT	ST JOSEPH	MO	64503
KWAK MYONG S	3013 AJAX RD	3013 AJAX RD	ST JOSEPH	MO	64503
BUTRICK DARRELL DEAN	3110 STONE RIDGE CT	3110 STONE RIDGE CT	ST JOSEPH	MO	64503
MCLAUGHLIN KYLE J	3001 AJAX RD	3001 AJAX RD	ST JOSEPH	MO	64503
HAWK JAMES L & PENNY LE	2933 PEAR ST	9782 SE HILLYARD RD	EASTON	MO	64443
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503

May Planning Commission

pg 1
Page 146 of 187

Timber Creek Subdivision

May Planning Commission

BARBER ELSIE GEORGENEA TRUST	3204 CREEK STONE CT	3204 CREEK STONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	0625	46
SMITH NICHOLAS	3003 S 29TH ST	1306 E JOSEPH ST	ST JOSEPH	MO	64504	9171	9690	0935	0262	0625	39
TIMBER CREEK AT BOLZ FARM LLC	3103 STONE RIDGE CT	507 ALEXANDRIA CT	GOWER	MO	64454	9171	9690	0935	0262	0625	60
SANDLIN RALPH & BETTY J	3106 STONE RIDGE CT	3106 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	0625	53
PERLERA ADRIAN	2905 S 29TH ST	317 LA JARA LN	EMPORIA	KS	66801	9171	9690	0935	0262	0625	84
HOWE ANDREA L	3101 S 29TH ST	3101 S 29TH ST	ST JOSEPH	MO	64506	9171	9690	0935	0262	0625	77
BUNSE WILBUR VALENTINE & BARBARA ANN	2909 AJAX RD	2909 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	07
CRUM BRUCE & BOBBIE	3003 PEAR ST	3807 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0625	91
MIDLAND CONSTRUCTION SERVICES LLC	3002 AJAX RD	PO BOX 204	GOWER	MO	64454	- applicant					
MEERS RANDY D	3210 CREEK STONE CT	3210 CREEK STONE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	21
HOVENGA PATRICIA JOANN	2902 AJAX RD	2902 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	14
MACKLEY LINDA LOUISE LE	3121 S 29TH ST	3121 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	45
BOLZ CARL TR & BOLZ, ALBERT TR ETAL	3408 AJAX RD	9110 N GARFIELD	KANSAS CITY	MO	64155	9171	9690	0935	0262	0626	38
BAHR LEO A & CINDY L	3105 STONE RIDGE CT	3105 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	69
OSTERTAG RUSSELL & SHEYLIN	2901 AJAX RD	2901 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	52
SANDER MICHAEL & BRIDGETTE	3029 S 29TH ST	3029 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	83
BOTTORFF LARRY D & CARLENE TRUST	2913 AJAX RD	2913 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0626	76
JANSEN MATTHEW E & TIFFANY M	2905 AJAX RD	2905 AJAX RD	ST JOSEPH	MO	64503	9171	9690	0935	0262	0627	06
HOME GROWN PROPERTIES LLC	2907 S 29TH ST	PO BOX 8576	ST JOSEPH	MO	64508	9171	9690	0935	0262	0626	90
PARKER BERTHA	2909 S 29TH ST	2909 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	0629	66
ZIMMERMAN LUCAS	3023 S 29TH ST	3023 S 29TH ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	0629	97
KWAK MYONG S	2921 PEAR ST	2921 PEAR ST	ST JOSEPH	MO	64503	9171	9690	0935	0262	0629	59
PETERS SEAN & ERICHA	3109 STONE RIDGE CT	3109 STONE RIDGE CT	ST JOSEPH	MO	64503	9171	9690	0935	0262	0629	35



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

May 4, 2022

VIA CERTIFIED MAIL

Applicant: Shawn Duke of Snyder & Associates, Inc. on behalf of Midland Construction Services LLC.
Location: 3200 Timber Creek Drive & 3002 Ajax Road
Regarding: Approval of a Preliminary Plat for a Major Subdivision entitled Timber Creek Subdivision.

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on May 19, 2022 on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is for the approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision. The proposed subdivision is comprised of approximately 79 lots within approximately 34.26 acres. The purpose of the major subdivision is to allow for development of a mix of single-family, two-family, and three apartment buildings to be developed on the site.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter. This information is the same as what was sent in April, before the item was postponed to the May meeting.

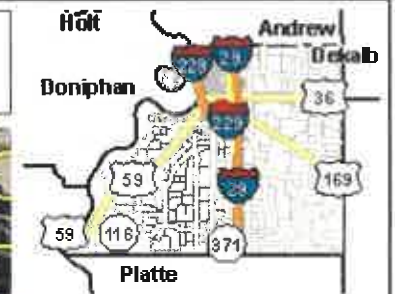
Sincerely,

A handwritten signature in blue ink, appearing to be "ZM", written over a light blue circular stamp.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

Timber Creek Subdivision



Legend

- Road
- <all other values>
 - Interstate
 - State Highway L
 - State Highway N
 - U.S. Highway
- Railroad
- Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

AFFIDAVIT OF PUBLICATION

NPG Newspapers, Inc., P.O. Box 29, St. Joseph, MO 64502

Reference:
Ad ID:

12290
6713582

P.O. :

DESC :Planning Comm Meeting - 4 Items 5/19/22

REBECCA SHIPP

CITY OF SJ PLANNING COMM
1100 FREDERICK AVE, RM 107
ST. JOSEPH, MO 64501-2337

County of Buchanan
State of Missouri

I, Sandra Ridings, being duly sworn according to law, state that I am the Legal Advertising Coordinator of the St. Joseph News-Press, a daily newspaper of general circulation in the county of Buchanan, where located; which has been admitted to the Post Office as second class matter in the city of St. Joseph, the city of publication; where newspaper has been published regularly and consecutively for a period of three years and has a list of bona fide subscribers voluntarily engaged to pay a stated price for a subscription for a definite period of time, and that such newspaper has complied with the provisions of Section 493.050 Revised Statutes of Missouri, 1949. The affixed notice appeared in said newspaper on the following date:

Run Dates: 05/03/22 to 05/03/22
Appearances: 1
AD SPACE: 113
TOTAL COST: \$490.25

(Signed)

Subscribed and sworn before me this

4 day of May 2022
Judy B. Moreno Notary Public

JUDY B. MORENO
Notary Public - Notary Seal
State of Missouri
Commissioned for Buchanan County
My Commission Expires: June 23, 2024
Commission Number: 12544882

(Published in the St. Joseph
News-Press Tues. 5/03/22)

NOTICE OF PUBLIC HEARING

Notice is hereby given to all citizens of the City of St. Joseph, Missouri, that a meeting of the Planning Commission of the City of St. Joseph, Missouri, will be held on the 19th day of May, 2022 at 5:30 p.m. in the Council Chamber of City Hall wherein the Commission will conduct a public hearing for the following items and at which time all interested persons will be heard:

● A request for approval of a change of zoning from RP-2 Planned Two-Family Residential District and R-1B Single-Family Residential to RP-3 Planned Garden Apartment Residential District for property located at 3200 Timber Creek Drive and 3002 Ajax Road as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision located at 3200 Timber Creek Drive and 3002 Ajax Road, as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision located at 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th, as requested by Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC

● A request for approval of a change of zoning from R-3 Garden Apartment Residential District to RP-4 Planned Apartment Residential District for property located at 4820 Gene Field Road as requested by Clark Hampton on behalf of Pivotal Point Transitional Housing.

Questions about the above referenced items should be directed to Zack Martin, City Planner at (816) 271-4648.

/s/

Allison Tschannen, Chairman
Planning Commission

Application	Waiver of the requirements of Sec. 26-70(a) and granting authority to the applicant to enter into a Subdivision Improvement Agreement (SIA) for Timber Creek Plat 3 Subdivision as provided in Sec. 26-71(a).
Applicant	Shawn Duke of Snyder & Associates, Inc. for Midland Construction Services LLC.
Location	3200 Timber Creek Drive, 3002 Ajax Road, & 3011 Pear Street
Staff Recommendation	APPROVAL

CODE REQUIREMENTS

Section 26-70(a) requires all Final Plat applicants to complete all street, sanitary and other public improvements with the exception of single or two-family residential or enter into a Subdivision Improvement Agreement.

Section 26-71(a) allows the Planning Commission to waive the requirement of Section 26-70(a) for the completion of required improvements and in lieu of a Subdivision Improvement Agreement or SIA by which the applicant agrees to complete all required improvements no later than **two** years following the approval of final plat and prior to issuance of certificates of occupancy associated with the plat.

STAFF RECOMMENDATION

An SIA allows the Developer to sell/build lots with an assurance of public improvements to be completed at a later time. Without the flexibility of an SIA, the Developer would not be allowed to sell/build more than one lot until all infrastructure is in place. This flexibility allows development to occur with the assurance to achieve compliance with Section 26-70(a) requirements. Upon approval by Planning Commission, City Staff will negotiate a Subdivision Improvement Agreement and will require approved form of surety, as required by City Code. The City Manager will sign the agreement document to allow the Final Plat to be submitted to the City Council for approval.

Staff recommends **APPROVAL** of the waiver of the requirements of Section 26-70(a) that would allow the parties to enter into a Subdivision Improvement Agreement for **Timber Creek Plat 3 Subdivision** if it is deemed necessary.

Staff: 

Zack Martin AICP

City Planner

(816) 271-4648

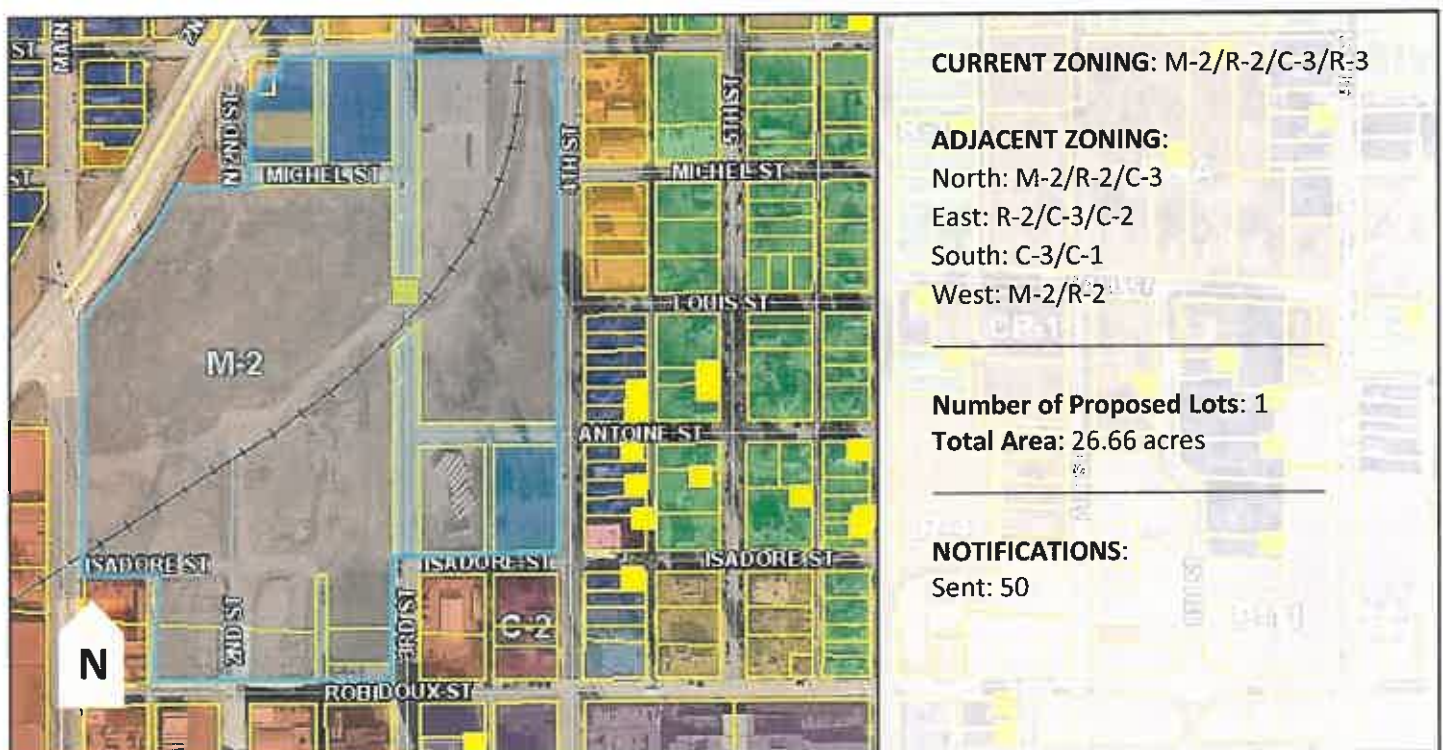
zmartin@stjosephmo.gov

Application	Application for a Preliminary Plat for a Major Subdivision entitled Hillyard Addition
Applicant	Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC
Location	229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th
Staff Recommendation	APPROVAL WITH CONDITIONS

BACKGROUND

This request is for a major subdivision entitled “Hillyard Addition” at the above-listed addresses. The proposed subdivision would consist of one lot of approximately 26.66 acres, located immediately north of downtown, near the existing Hillyard offices and facilities. The location of the property is zoned for a mixture of four districts, though is largely zoned M-2, Heavy Manufacturing and is the former location of the Wire Rope manufacturing. The surrounding area is a diverse mixture of residential, commercial, and manufacturing in zoning and use, which is reflective of this area of St. Joseph. Manufacturing and commercial services have long clustered near major transit routes and before the advent of the car, residential areas would cluster around the job centers. This area is among the oldest in the City and the land use reflects this.

OVERVIEW



ATTACHMENTS INCLUDED:

- Application & supporting documents provided by applicant.
- Letter to adjacent property owners.

FACTORS FOR CONSIDERATION:

The following is a list of guidelines for the commission recommendation as listed in Section 26-45(g) of the Municipal Code. According to this section of the code, the commission shall consider the following criteria in making a recommendation on the preliminary plat:

- 1. The plat substantially conforms with an approved sketch plat reviewed in the pre-application conference.**

Staff finds that the proposed plat is generally in conformance with the requirements of Sec. 26-45, save the items outlined as a condition of approval.

- 2. The plat conforms to these regulations and the applicable provisions of the zoning ordinance and other land use regulations.**

Staff finds that the proposed plat is in conformance regarding the platting of property in relation to the zoning ordinance and other land use regulations. While the property does have a mixture of zoning districts, the proposed development would be occurring on the area zoned M-2, Heavy Manufacturing, and would therefore be permitted. While not a condition of approval, staff does recommend a rezoning for the entirety of the property in the future to bring it into one zoning district, therefore avoiding compliance and nonconforming issues.

- 3. The plat represents an overall development pattern that is consistent with the goals and policies of the comprehensive plan, the major street plan, the official map, the capital improvements program, and any other applicable planning documents adopted by the city.**

Staff finds this to be true.

- 4. The development shall be laid out in such a way as to result in:**

- a. Good natural surface drainage to a storm sewer or a natural water course.**

Staff finds this to be true, per Public Works the significant decrease in impervious area with the site's redevelopment, the City has agreed that Hillyard will not be required to install Stormwater treatment facilities. The reduction of impervious area and conversion to greenspace will improve the water quality in this area.

- b. Adequate width for the type and size of dwellings contemplated, including adequate side yards for light, air circulation, access, and privacy.**

Staff finds this to be true.

- c. An adequate depth for outdoor living space.**

Staff finds this to be true.

5. The plat contains, lots and a subdivision layout that is consistent with good land planning and site engineering design principles.

Staff finds that the plat generally does contain a layout that is consistent with good land planning and site engineering design principles.

STAFF REVIEW & RECOMMENDATION

Staff recommends **APPROVAL WITH THE FOLLOWING CONDITIONS:**

- The final approved plat shall indicate the vacated ROW per Special Ordinance 9591.

Staff: _____

Zack Martin AICP

City Planner

(816) 271-4648

zmartin@stjosephmo.gov



MAJOR SUBDIVISION APPLICATION | PRELIMINARY

City of St. Joseph, Missouri | Planning & Zoning

1100 Frederick Avenue, Room 107

Zack Martin, City Planner | (816) 271-4648 | zmartin@stjoemo.org

All submittals for major subdivisions must comply with Sec. 26-45 & 26-46 of the City's Code of Ordinances, located online at stjoemo.info. The following must be included with **every** application:

1. Completed Application (**PLEASE DO NOT SUBMIT PAPER PLAT DOCUMENTS UNTIL RECORDING**)
2. **\$1,050.00 PLUS \$25.00** per lot application fee (separate filing fee is required at time of recording)
3. **Completion of all additional materials and steps (see back)**

THE UNDERSIGNED HEREBY APPLIES FOR THE APPROVAL OF SAID MAJOR SUBDIVISION BY THE CITY OF ST. JOSEPH IN BELIEF THAT THE PLAN CONFORMS TO CHAPTERS 26 AND 31 OF THE CODE OF ORDINANCES.

With the signing and submittal of this application, the property owner authorizes the City of St. Joseph to enter onto the subject property to collect data and other information in order to accurately prepare reports or other documentation for review by the City Council, City boards and commissions, and City departments.

Applicant Information

Primary Contact ☐ Yes ☐ No

Name Hillyard Industries, Inc. and Hillyard Holdings, LLC (Blake Roth) | Property Owner ☒ Yes ☐ No

Street 302 N 4th St.

City, State, Zip St. Joseph | MO | 64501

Phone (816) 233-1321 | Email blakeroth@hillyard.com

Signature [Signature] Date 4/7/22

Surveyor Information

Name Richard Mattson | Primary Contact ☐ Yes ☐ No

Business Name Midland Surveying, Inc.

Street 4784 Frederick Ave.

City, State, Zip St. Joseph | MO | 64506

Phone (816) 233-7900 | Email rmattson@midlandsurvey.com

Signature [Signature] Date 4/7/2022

Project Address

Street 609 N 2nd, 508 N 3rd, 229 Robidoux, 1001 N 3rd, 622 N 4th, 902 N 3rd, 915 N 2nd

City, State, Zip St. Joseph | MO | 64501

Located in the NW 1/4 & SW 1/4, Section 8, T 57 N, R 35 W

Number of Lots Proposed 1 Total Acreage 26.66 Owner Hillyard Industries, Inc and Hillyard

Holdings, LLC Name of Proposed Subdivision Hillyard Addition

Section to be completed by City

Received By [Signature] Date 4/8/22 Accela ID PZ22-00051

ALL applications must include the following to be considered complete:

- ☐ Completed application (PLEASE DO NOT SUBMIT PAPER PLAT DOCUMENTS UNTIL RECORDING)
- ☐ Submitted application fee (\$1,050.00 PLUS \$25.00 PER LOT, payable to City of St. Joseph)
- ☐ Letter from owner stating the purpose of subdivision & Word Document containing full legal description
- ☐ PDF copy of proposed subdivision from licensed surveyor for initial review, with:
 - ☐ Date, scale, north arrow, and name of subdivision
 - ☐ Location of survey monuments "referenced in" on ground for reproduction
 - ☐ Location of section, township, range, county, and state, including precise legal description
 - ☐ Key map showing general area of proposed subdivision
 - ☐ Scale specification (not to exceed 1:100)
 - ☐ Word Document sent to City Planner with full legal description
 - ☐ Abstract of title or other certificate establishing ownership interests and proof that proper parties have signed the plat for all land in the subdivision
 - ☐ Boundary lines and zoning of all adjoining lands for a distance of two hundred (200) feet and showing (with dotted lines) the right-of-way lines and adjacent street and alleys, indicating paved or unpaved, with their widths and names and existing topography lines
 - ☐ Easements for right-of-way's provided for public use, services or utilities, with figures showing dimensions
 - ☐ All dimensions and bearings, both linear and angular, radii and arcs, necessary for locating the boundaries of the subdivision, blocks, lots, streets, easements, building lines, and other areas to be dedicated for public or private use. The linear dimensions are to be expressed in feet and decimals of a foot
 - ☐ Layout of proposed sanitary sewerage and water distribution lines and facilities and location of nearest existing sewer and water mains
 - ☐ Stormwater management plan, calculations, proposed size, nature, and location of all proposed storm drainage improvements
 - ☐ Existing topography with contours at max two (2) foot intervals (relate to USGS data)
 - ☐ Area in acres and square feet for each lot or parcel
 - ☐ Letters of availability/adequacy of services
 - ☐ Certification by a registered land surveyor, engineer, or architect that all details of the plat are correct
 - ☐ Any and all information required in Sec. 26-45 of the St. Joseph City Code
- ☐ Completed applications will be placed on the following month's Planning Commission agenda and will be reviewed by City Staff for any errors, missing items, conditions, etc. Once reviewed, Staff will provide one of the following recommendations to the Planning Commission:
 - **Approval** – Plat may proceed to City Council (Contact City Staff for Final Plat process)
 - **Approval with Conditions** – Plat may proceed to City Council and recording pending the conditions set forth by staff are met (Contact City Staff for Final Plat process)
 - **Denial** – Plat does not move forward
- ☐ When/if final plat is approved by City Council, two (2) paper copies, one (1) mylar copy, and one (1) PDF copy of the final subdivision (with conditions met if applicable) will be provided for recording with Buchanan County and the City's records (this will include an additional filing fee confirmed with the City Planner before copies are submitted). Please ensure that any non-City Staff signatures and notary requirements are met before submitting to City Staff for recording

**Recording Fees are made out to the Buchanan County Recorder's Office*

Planning Commission hearings, unless otherwise stated or posted, are held on the last Thursday of each month at 5:30pm in the City Council Chambers on the 3rd floor of City Hall (1100 Frederick Avenue). Submittal deadlines are the last working Friday the month prior. City Council dates will be provided and are posted online.

Section to be completed by City

Staff Review

- ☒ Completed Application
- ☒ Application Fee

Fees

- ☒ Application (\$1,050.00)
- ☒ Plus (\$25/Lot)

Date Application Received

4 / 8 / 22

Date Fee Received

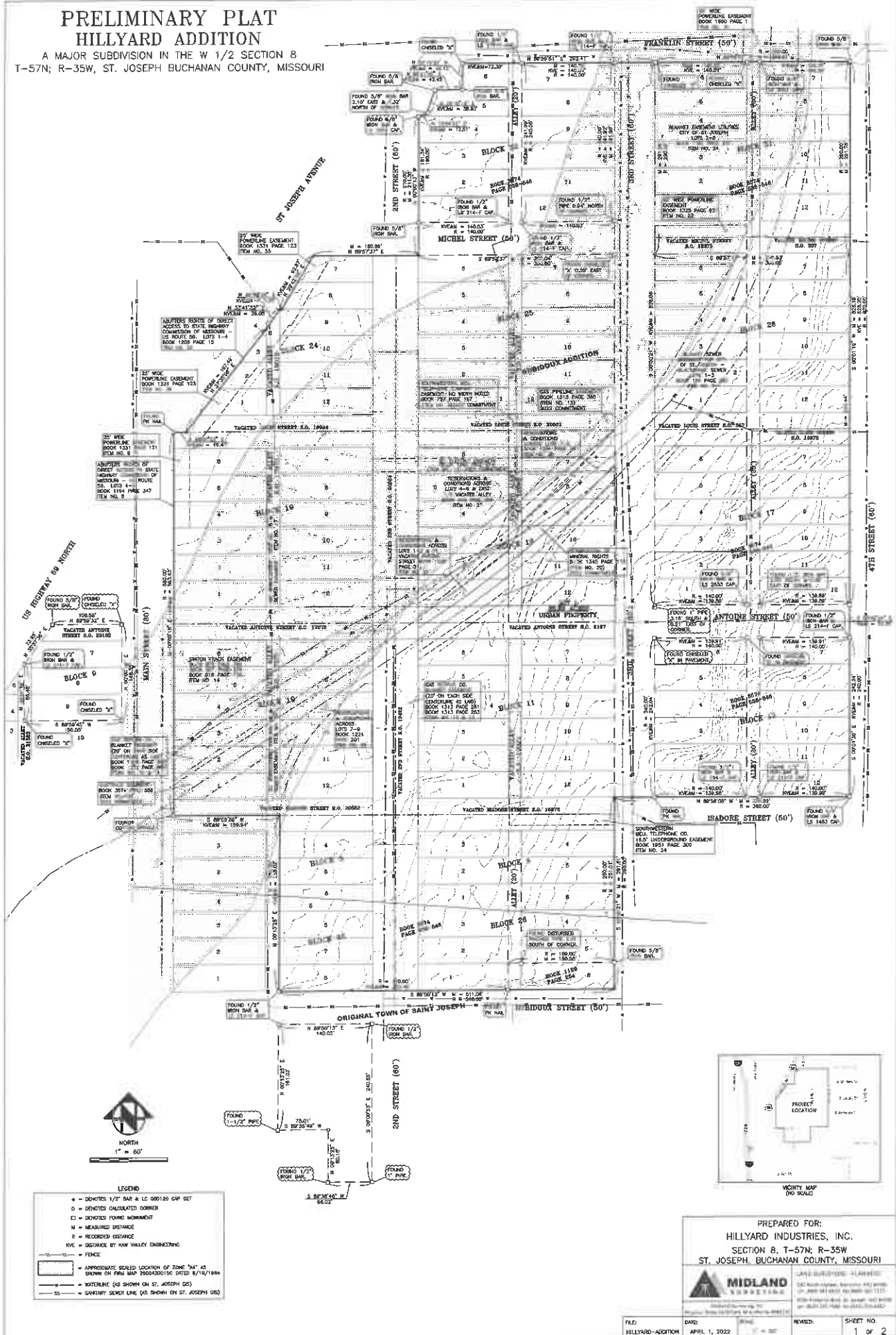
4 / 8 / 22

Zoning M-2/R-3

Total (\$) 1,075.00

PRELIMINARY PLAT HILLYARD ADDITION

A MAJOR SUBDIVISION IN THE W 1/2 SECTION 8,
T-57N; R-35W, ST. JOSEPH, BUCHANAN COUNTY, MISSOURI



FIRST AMERICAN TITLE #NCS-781638-KCITY:
TRACT A: INTENTIONALLY DELETED

TRACT B:
ALL OF LOTS 1 TO 6 AND FRACTIONAL LOT 7 IN BLOCK 4, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE SOUTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #16972 OF THE CITY OF ST. JOSEPH, MO, ADJOINING LOTS 3 AND 4 ON THE NORTH AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1, 2 AND 3 ON THE WEST AND LOTS 1, 2, 3, 4 AND 5 IN BLOCK 26, ORIGINAL TOWN, TOGETHER WITH THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1, 2 AND 3 ON THE WEST.

TRACT C:
ALL OF LOTS 4, 5 AND 6 IN BLOCK 5, ROBIDOUX ADDITION, AND ALL OF LOTS 5, 6, 7 AND 8, IN BLOCK 25, IN ORIGINAL TOWN, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH SOUTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #20552 OF SAID CITY ADJOINING LOT 4 ON THE NORTH AND WEST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING ALL OF SAID LOTS ON THE EAST.

TRACT D: INTENTIONALLY DELETED

TRACT E:
ALL OF LOTS 1 THRU 12 IN BLOCK 11, IN ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND ALL OF VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #17022 OF SAID CITY, AND THE SOUTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #21227 OF SAID CITY ADJOINING LOTS 1 & 7 ON THE NORTH, AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #20552 OF SAID CITY ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT F:
ALL OF LOTS 1 THRU 12 IN BLOCK 11, IN ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND ALL OF VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #17022 OF SAID CITY, AND THE SOUTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #21227 OF SAID CITY ADJOINING LOTS 1 & 7 ON THE NORTH, AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #16972 OF SAID CITY ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT G:
LOT 1 THRU 12, INCLUSIVE, IN BLOCK 12, ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT H:
LOTS 1 THRU 12, INCLUSIVE, IN BLOCK 17, ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, AND THE S 1/2 OF VACATED LOUIS STREET, EXCEPT THAT PORTION OF LOT 6 DESCRIBED IN INSTRUMENT RECORDED IN BOOK 1322 AT PAGE 13 IN THE OFFICE OF THE RECORDER OF DEEDS OF BUCHANAN COUNTY, MISSOURI.

TRACT I:
ALL OF LOTS 1 THRU 12 IN BLOCK 18, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH ALL VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #12650 OF SAID CITY, AND SOUTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #20551 ADJOINING LOTS 6 AND 7 ON THE NORTH, AND EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #21227 ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT J:
ALL OF LOTS 1 TO 12 IN BLOCK 19, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND ALL VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #17073, AND NORTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #17073 ADJOINING LOTS 1 AND 12 ON THE SOUTH, AND THE WEST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 ADJOINING LOTS 7 TO 12 ON THE EAST, AND THE SOUTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #19544 ADJOINING LOTS 6 & 7 ON THE NORTH.

TRACT K:
ALL OF LOTS 1 - 12 IN BLOCK 26, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND ALL THE SOUTH HALF OF MICHEL STREET, VACATED BY S.O. #12276 AND #357 OF SAID CITY ADJOINING LOTS 6 AND 7 ON THE NORTH, AND THE VACATED LOUIS STREET, VACATED BY S.O. #357 & #16873 OF SAID CITY ADJOINING LOT 1 AND LOT 12 ON THE SOUTH.

TRACT L:
ALL OF LOTS 1 - 12, BLOCK 25, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH ALL OF VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #20553 OF SAID CITY, AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 OF SAID CITY ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #20551 OF SAID CITY ADJOINING LOTS 1 & 12 ON THE SOUTH.

TRACT M:
THE SOUTH 27.5 FEET OF EAST 0.26 FEET OF LOT 11, AND THE EAST 0.26 FEET OF LOT 12, IN BLOCK 24, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND THAT PORTION OF VACATED SECOND STREET, VACATED BY S.O. #20554 OF SAID CITY ADJOINING SAID LOTS ON THE EAST.

TRACT N:
ALL OF LOTS 1 TO 12 IN BLOCK 31, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE NORTH HALF OF VACATED MICHEL STREET, VACATED BY S.O. #12276 AND #357 OF SAID CITY ADJOINING LOTS 1 & 2 ON THE SOUTH.

TRACT O:
ALL OF LOTS 1, 2 AND THE S. 30 FEET OF LOT 3 AND THE EAST 72.3 FEET OF LOT 6 AND LOTS 7, 8, 9, 10 & 12, ALL IN BLOCK 32, ROBIDOUX ADDITION, AN ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT P:
THE NORTH TEN (10) FEET OF LOT THREE (3), ALL OF LOT FOUR (4) AND ALL OF LOT FIVE (5), EXCEPT THAT PART OF LOT FIVE (5) CONVEYED TO THE STATE OF MISSOURI FOR HIGHWAY PURPOSES, RECORDED IN BOOK 1150 PAGE 143 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, ALL IN BLOCK THIRTY-TWO (32) IN ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT Q:
LOT ELEVEN (11), IN BLOCK THIRTY-TWO (32), IN ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT R:
ALL OF LOTS 7, 8, 9, 10, 11 AND 12, BLOCK 24 IN ROBIDOUX ADDITION, ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, EXCEPT THEREAFTER, THAT PORTION OF LOTS 11 AND 12 CONVEYED TO WIRE BURE CORPORATION OF AMERICA, INC., A CONNECTICUT CORPORATION, BY WARRANTY DEED RECORDED IN BOOK 1342 PAGE 769 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, ALSO THAT PART OF VACATED LOUIS STREET LYING BETWEEN MAIN STREET AND SECOND STREET, ST. JOSEPH, MISSOURI.

ALSO, THAT PART OF LOTS 1, 2, 3 AND 4 IN BLOCK 24 IN ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, AS SET OUT IN THE HEREINAFTER DESCRIBED TRACT, BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH ALONG THE EAST LINE OF SAID LOTS 1, 2, 3 AND 4 A DISTANCE OF 132.72 FEET TO A POINT ON SOUTHEAST RIGHT-OF-WAY LINE OF STATE HIGHWAY 16; THENCE S 89° 50' 00" E 50 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 4; THENCE SOUTHWESTERLY ON A STRAIGHT LINE ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID HIGHWAY TO A POINT ON THE SOUTH LINE OF SAID LOT 1 THAT IS 101.11 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 101.11 FEET TO THE POINT OF BEGINNING, SUBJECT TO PUBLIC ROADS AND HIGHWAYS.

TRACT S:
ALL OF LOTS 7, 8, 9, 10, 11 AND 12 EXCEPT THE WEST 75 FEET OF LOTS 11 AND 12, BLOCK 24, ORIGINAL TOWN OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF BLOCK 24; THENCE NORTH 240.7 FEET ALONG THE WEST LINE OF SECOND STREET TO THE NE CORNER; THENCE WEST 140.11 FEET ALONG THE SOUTH LINE OF ROBIDOUX STREET; THENCE SOUTH 160.8 FEET ALONG THE EAST LINE OF A 200 FOOT ALLEY; THENCE EAST 75.0 FEET; THENCE SOUTH 60.27 FEET TO THE NORTH LINE OF FARROW STREET; THENCE EAST 66.0 FEET ALONG THE SAID NORTH LINE OF FARROW STREET TO THE POINT OF BEGINNING, SUBJECT TO PUBLIC ROADS AND HIGHWAYS.

TRACT T:
LOTS ONE (1), TWO (2), THREE (3), FOUR (4) FIVE (5) AND SIX (6), IN BLOCK TWENTY-SIX (26), ORIGINAL TOWN, NOW CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE EAST HALF OF 2ND STREET ADJOINING LOTS ONE (1), TWO (2) AND THREE (3) ON THE WEST, VACATED BY SPECIAL ORDINANCE NO. 19422 OF THE CITY OF ST. JOSEPH, MISSOURI.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY that we have performed a survey and prepared the accompanying plot of the premises described hereon which meets or exceeds the current Missouri Standards for Property Boundary Surveys, 10 CSR 30-2 and 30 CSR 30-20-18, and that the results of said survey are represented on this plot to the best of my professional knowledge and belief.

WITNESS hand and seal this First (1st) day of April, 2022.

Richard L. Mollison
Missouri P.L.S. 2574
Buchanan County Surveyor

SURVEYOR'S NOTES:

- Except as specifically stated or shown on this plot, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations; and any other facts that on accurate and current title search may disclose.
- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- Survey is valid only if print has original seal and signature of surveyor.
- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record that would affect this project.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The word "certify" or "certificates" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- The East right-of-way line of Main Street bears North 00 degrees 00 minutes 18 seconds East for this survey.

DEDICATION:

Hillyard Industries, Inc. and Hillyard Holdings, LLC, declare that they are the sole owner of the above described tract and they have caused the same to be divided into streets and lots of the street, dimensions, and locations as shown on this plot, which plot was drawn by said owner's authority and under their direction. Said plot shall hereinafter be known as:

"Hillyard Addition"

The streets and other right-of-ways shown on this plot and not heretofore dedicated to public use are hereby so dedicated. In consideration of the acceptance of this plot and dedication, the owner does hereby waive any claims for damages to any of the above described property by reason of the future grading of the streets in this plot to such grades that may be established by the City Council of the City of St. Joseph, Missouri at the time of approval of this plot, or at any time thereafter. This waiver shall be binding upon the owner, their heirs, successors, and grantees. All street improvements shall be type "B" in accordance with the City of St. Joseph General Ordinance No. 661.

An easement or license is hereby granted to the City of St. Joseph, Missouri to locate, construct, and maintain, or to authorize the location, construction, and maintenance of conduits, water, gas, and sewer pipes, poles, wires, sidewalks and surface drainage, or any or all of them over, under, along, and through the stripes marked "UE" or "utility easement", and that the placing of any lines or structures or the placing of other improvements on said easements will be done at the risk of subsequent damage thereto without compensation therefore the easements granted to the City of St. Joseph, Missouri shall be superior to any other easement in the subdivision unless otherwise agreed to by the City of St. Joseph.

IN TESTIMONY WHEREOF, the undersigned have caused these presents to be signed as follows:

Hillyard Industries, Inc.,

Blake Roth
Chief Manufacturing Officer

STATE OF MISSOURI }
COUNTY OF BUCHANAN } SS:

On this _____ day of _____, 2022, before me, a Notary Public in and for said state, personally appeared Blake Roth, Chief Manufacturing Officer, who to me personally known and by me duly sworn did say they executed the same as their free act and deed for the purposes therein stated.

IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my official seal on the date last above written.

Notary Public My Commission Expires: _____

IN TESTIMONY WHEREOF, the undersigned have caused these presents to be signed as follows:

Hillyard Holdings, LLC

Blake Roth
Chief Manufacturing Officer

STATE OF MISSOURI }
COUNTY OF BUCHANAN } SS:

On this _____ day of _____, 2022, before me, a Notary Public in and for said state, personally appeared Blake Roth, Chief Manufacturing Officer, who to me personally known and by me duly sworn did say they executed the same as their free act and deed for the purposes therein stated.

IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my official seal on the date last above written.

Notary Public My Commission Expires: _____

OFFICE OF THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION:

This is to certify that this plot was duly presented for the approval of the Director of Public Works & Transportation and has been approved on this _____ day of _____, 2022.

By: Andrew Clements
Director of Public Works

OFFICE OF PLANNING & COMMUNITY DEVELOPMENT:

This is to certify that this plot was duly presented for the approval by the Director of the Planning & Community Development Department and has been duly approved on this _____ day of _____, 2022.

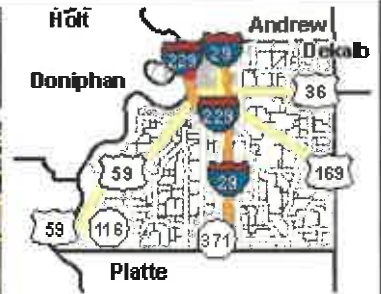
By: Clint Thompson, Director of Planning & Community Development ATTEST: _____ Clerk

By: Paula Hynds, CMC
City Clerk

FILE: HILLYARD-ADDITION DATE: APRIL 1, 2022 SCALE: 1" = 60' REVISIONS: SHEET NO. 2 OF 2

PREPARED FOR: HILLYARD INDUSTRIES, INC. SECTION 8, T-57N; R-35W ST. JOSEPH, BUCHANAN COUNTY, MISSOURI	
 Midland Surveying, Inc. Missouri State Certificate of Authority #000120	LAND SURVEYORS - PLANNERS 352 North Market, Maryville, MO 64464 ph: (866) 582-4833 fax: (660) 582-7173 4784 Frederick Blvd., St. Joseph, MO 64506 ph: (816) 235-7999 fax: (816) 234-4851

Hillyard Addition Subdivision



Legend

Road

- <all other values>
- Interstate
- State Highway L
- State Highway N
- U.S. Highway

→ Railroad

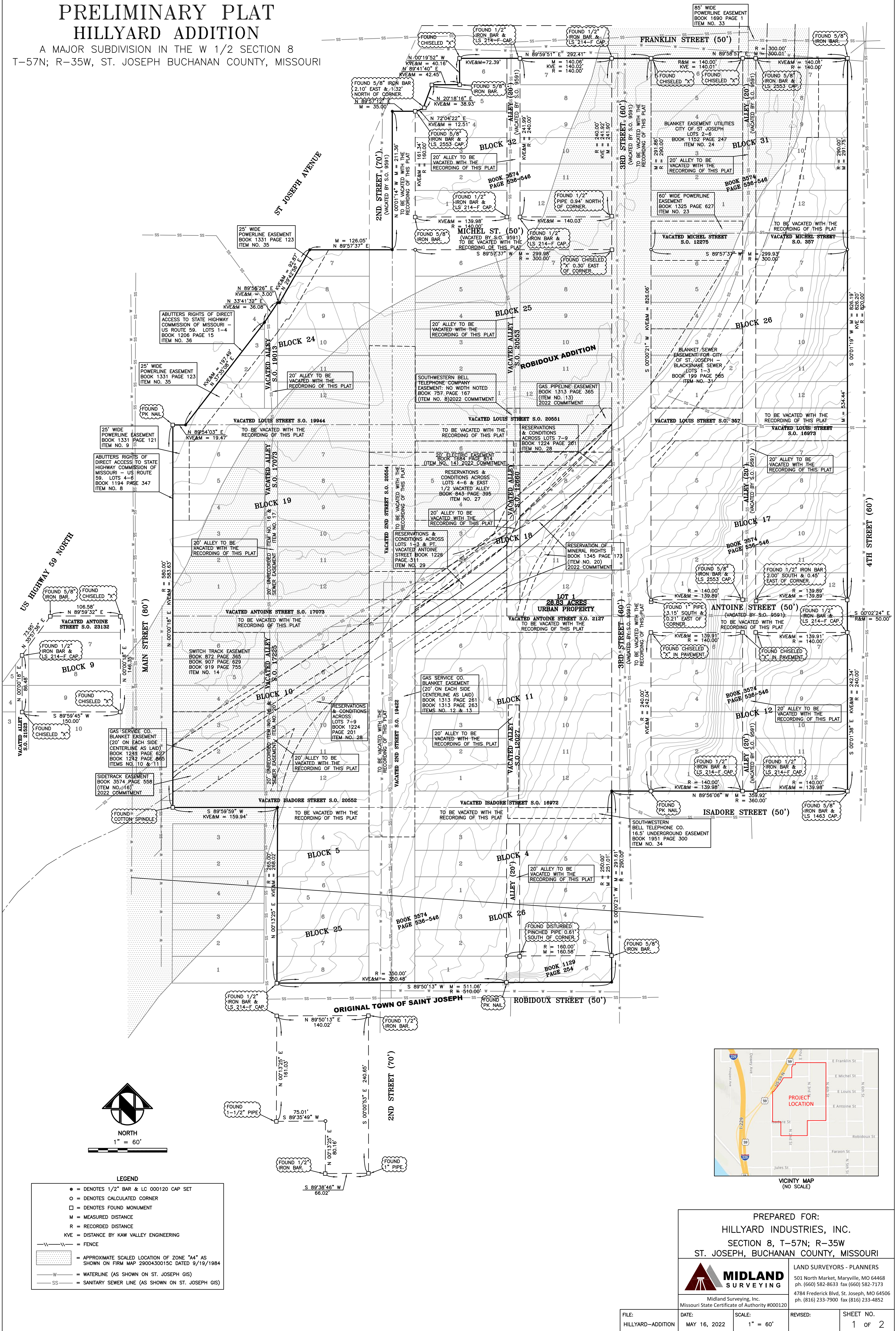
Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.
THIS MAP IS NOT TO BE USED FOR NAVIGATION

PRELIMINARY PLAT HILLYARD ADDITION

A MAJOR SUBDIVISION IN THE W 1/2 SECTION 8
T-57N; R-35W, ST. JOSEPH BUCHANAN COUNTY, MISSOURI



FIRST AMERICAN TITLE #NCS-781638-KCTY:
TRACT A: INTENTIONALLY DELETED

TRACT B:
ALL OF LOTS 1 TO 6 AND FRACTIONAL LOT 7 IN BLOCK 4, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE SOUTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #16972 OF THE CITY OF ST. JOSEPH, MO, ADJOINING LOTS 3 AND 4 ON THE NORTH AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1, 2 AND 3 ON THE WEST; AND LOTS 1, 2, 3, 4 AND 5 IN BLOCK 26, ORIGINAL TOWN, TOGETHER WITH THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 1, 2 AND 3 ON THE WEST.

TRACT C:
ALL OF LOTS 4, 5 AND 6 IN BLOCK 5, ROBIDOUX ADDITION; AND ALL OF LOTS 5, 6, 7 AND 8, IN BLOCK 25, IN ORIGINAL TOWN, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH SOUTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #20552 OF SAID CITY ADJOINING LOT 4 ON THE NORTH AND WEST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING ALL OF SAID LOTS ON THE EAST.

TRACT D: INTENTIONALLY DELETED

TRACT F:
ALL OF LOTS 1 THRU 12, BLOCK 10, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI AND ALL OF VACATED NORTH/SOUTH ALLEY IN SAID BLOCK, VACATED BY S.O. 17225 OF SAID CITY, AND THE SOUTH HALF OF VACATED ANTOINE STREET ADJOINING LOTS 6 AND 7 ON THE NORTH, VACATED BY S.O. #17073 OF SAID CITY, AND THE WEST HALF OF VACATED SECOND STREET, VACATED BY S.O. #19422 OF SAID CITY ADJOINING LOTS 7 TO 12 ON THE EAST, AND THE NORTH HALF OF VACATED ISADORE STREET; VACATED BY S.O. #20552 OF SAID CITY ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT G:
ALL OF LOTS 1 THRU 12 IN BLOCK 11, IN ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI AND ALL OF VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #12027 OF SAID CITY, AND THE SOUTH HALF OF ANTOINE STREET, VACATED BY S.O. #2127 OF SAID CITY ADJOINING LOTS 6 & 7 ON THE NORTH, AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. 19422 OF SAID CITY ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED ISADORE STREET, VACATED BY S.O. #16972 OF SAID CITY ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT H:
LOT 1 THRU 12, INCLUSIVE, IN BLOCK 12, ROBIDOUX'S ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT I:
LOTS 1 THRU 12, INCLUSIVE, IN BLOCK 17, ROBIDOUX'S ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, AND THE S 1/2 OF VACATED LOUIS STREET, EXCEPT THAT PORTION OF LOT 6 DESCRIBED IN INSTRUMENT RECORDED IN BOOK 1322 AT PAGE 13 IN THE OFFICE OF THE RECORDER OF DEEDS OF BUCHANAN COUNTY, MISSOURI.

TRACT J:
ALL OF LOTS 1 THRU 12 IN BLOCK 18, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH ALL VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #12660 OF SAID CITY, AND SOUTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #20551 ADJOINING LOTS 6 AND 7 ON THE NORTH, AND EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #2127 ADJOINING LOTS 1 AND 12 ON THE SOUTH.

TRACT K:
ALL OF LOTS 1 TO 12 IN BLOCK 19, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI AND ALL VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #17073, AND NORTH HALF OF VACATED ANTOINE STREET, VACATED BY S.O. #17073 ADJOINING LOTS 1 AND 12 ON THE SOUTH, AND THE WEST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 ADJOINING LOTS 7 TO 12 ON THE EAST, AND THE SOUTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #19944 ADJOINING LOTS 6 & 7 ON THE NORTH.

TRACT L:
ALL OF LOTS 1 – 12 IN BLOCK 26, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI AND ALL THE SOUTH HALF OF MICHEL STREET, VACATED BY S.O. #12275 AND #357 OF SAID CITY ADJOINING LOTS 6 AND 7 ON THE NORTH, AND THE VACATED LOUIS STREET, VACATED BY S.O. #357 & #16973 OF SAID CITY ADJOINING LOT 1 AND LOT 12 ON THE SOUTH.

TRACT M:
ALL OF LOTS 1 – 12, BLOCK 25, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH ALL OF VACATED NORTH/SOUTH ALLEY, VACATED BY S.O. #20553 OF SAID CITY, AND THE EAST HALF OF VACATED SECOND STREET, VACATED BY S.O. #20554 OF SAID CITY ADJOINING LOTS 1 TO 6 ON THE WEST, AND THE NORTH HALF OF VACATED LOUIS STREET, VACATED BY S.O. #20551 OF SAID CITY ADJOINING LOTS 1 & 12 ON THE SOUTH.

TRACT N:
THE SOUTH 27.5 FEET OF EAST 0.26 FEET OF LOT 11, AND THE EAST 0.26 FEET OF LOT 12, IN BLOCK 24, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, AND THAT PORTION OF VACATED SECOND STREET, VACATED BY S.O. #20554 OF SAID CITY ADJOINING SAID LOTS ON THE EAST.

TRACT O:
ALL OF LOTS 1 TO 12 IN BLOCK 31, ROBIDOUX ADDITION, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE NORTH HALF OF VACATED MICHEL STREET, VACATED BY S.O. #12275 AND #357 OF SAID CITY ADJOINING LOTS 1 & 2 ON THE SOUTH.

TRACT P:
ALL OF LOTS 1, 2 AND THE S. 30 FEET OF LOT 3 AND THE EAST 72.3 FEET OF LOT 6 AND LOTS 7, 8, 9, 10 & 12, ALL IN BLOCK 32, ROBIDOUX ADDITION, AN ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT Q:
THE NORTH TEN (10) FEET OF LOT THREE (3), ALL OF LOT FOUR (4) AND ALL OF LOT FIVE (5), EXCEPT THAT PART OF LOT FIVE (5) CONVEYED TO THE STATE OF MISSOURI FOR HIGHWAY PURPOSES, RECORDED IN BOOK 1195 PAGE 143 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI, ALL IN BLOCK THIRTY-TWO (32) IN ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT R:
LOT ELEVEN (11), IN BLOCK THIRTY-TWO (32), IN ROBIDOUX ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI.

TRACT S:
ALL OF LOTS 7, 8, 9, 10, 11 AND 12, BLOCK 24 IN ROBIDOUX ADDITION, ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, EXCEPT THEREFROM, THAT PORTION OF LOTS 11 AND 12 CONVEYED TO WIRE ROPE CORPORATION OF AMERICA, INC., A CONNECTICUT CORPORATION, BY WARRANTY DEED RECORDED IN BOOK 1342 PAGE 769 IN THE OFFICE OF THE RECORDER OF DEEDS FOR BUCHANAN COUNTY, MISSOURI. ALSO THAT PART OF VACATED LOUIS STREET LYING BETWEEN MAIN STREET AND SECOND STREET, ST. JOSEPH, MISSOURI.

ALSO, THAT PART OF LOTS 1, 2, 3 AND 4 IN BLOCK 24 IN ROBIDOUX’S ADDITION TO THE CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, AS SET OUT IN THE HERINAFTER DESCRIBED TRACT, BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 1; THENCE NORTH ALONG THE EAST LINES OF SAID LOTS 1, 2, 3 AND 4 A DISTANCE OF 132.72 FEET TO A POINT ON SOUTHEAST RIGHT-OF-WAY LINE OF STATE HIGHWAY U.S. ROUTE 59 THAT IS 30 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 4; THENCE SOUTHWESTERLY ON A STRAIGHT LINE ALONG THE SOUTHEAST RIGHT-OF-WAY LINE OF SAID HIGHWAY TO A POINT ON THE SOUTH LINE OF SAID LOT 1 THAT IS 101.11 FEET WEST OF THE SOUTHEAST CORNER OF SAID LOT 1; THENCE EAST ALONG THE SOUTH LINE OF SAID LOT 1 A DISTANCE OF 101.11 FEET TO THE POINT OF BEGINNING. SUBJECT TO PUBLIC ROADS AND HIGHWAYS.

TRACT T:
ALL OF LOTS 7, 8, 9, 10, 11 AND 12 EXCEPT THE WEST 75 FEET OF LOTS 11 AND 12, BLOCK 24, ORIGINAL TOWN OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SE CORNER OF BLOCK 24; THENCE NORTH 240.7 FEET ALONG THE WEST LINE OF SECOND STREET TO THE NE CORNER; THENCE WEST 140.11 FEET ALONG THE SOUTH LINE OF ROBIDOUX STREET; THENCE SOUTH 160.6 FEET ALONG THE EAST LINE OF A 20 FOOT ALLEY; THENCE EAST 75.0 FEET; THENCE SOUTH 80.27 FEET TO THE NORTH LINE OF FARAON STREET; THENCE EAST 66.0 FEET ALONG THE SAID NORTH LINE OF FARAON STREET TO THE POINT OF BEGINNING. SUBJECT TO PUBLIC ROADS AND HIGHWAYS.

TRACT U:
LOTS ONE (1), TWO (2), THREE (3), FOUR (4) FIVE (5) AND SIX (6), IN BLOCK TWENTY-SIX (26), ORIGINAL TOWN, NOW CITY OF ST. JOSEPH, BUCHANAN COUNTY, MISSOURI, TOGETHER WITH THE EAST HALF OF 2ND STREET ADJOINING LOTS ONE (1), TWO (2) AND THREE (3) ON THE WEST, VACATED BY SPECIAL ORDINANCE NO. 19422 OF THE CITY OF ST. JOSEPH, MISSOURI.

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY that we have performed a survey and prepared the accompanying plat of the premises described hereon which meets or exceeds the current Missouri Standards for Property Boundary Surveys, 10 CSR 30-2 and 20 CSR 2030-16, and that the results of said survey are represented on this plat to the best of my professional knowledge and belief.

WITNESS hand and seal this Sixteenth (16th) day of May, 2022.

Richard L. Mattson
Missouri P.L.S. 2674
Buchanan County Surveyor

SURVEYOR'S NOTES:

- Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: easements, other than possible easements that were visible at the time of making of this survey; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land-use regulations; and any other facts that an accurate and current title search may disclose.
- Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- Survey is valid only if print has original seal and signature of surveyor.
- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied the surveyor. No abstract of title, nor title commitment, nor results of title searches were furnished the surveyor. There may exist other documents of record that would affect this parcel.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- The word "certify" or "certificate" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- The East right-of-way line of Main Street bears North 00 degrees 00 minutes 18 seconds East for this survey.
- All streets and alleys located within Lot 1 of Hillyard Addition to be vacated with the recording of this plat.

DEDICATION:

Hillyard Industries, Inc. and Hillyard Holdings, LLC, declare that they are the sole owner of the above described tract and they have caused the same to be divided into streets and lots of the sizes, dimensions, and locations as shown on this plat, which plat was drawn by said owner’s authority and under their direction. Said plat shall hereinafter be known as:

“Hillyard Addition”

The streets and other right-of-ways shown on this plat and not heretofore dedicated to public use are hereby so dedicated. In consideration of the acceptance of this plat and dedication, the owner does hereby waive any claims for damages to any of the above described property by reason of the future grading of the streets in this plat to such grades that may be established by the City Council of the City of St. Joseph, Missouri at the time of approval of this plat, or at any time thereafter. This waiver shall be binding upon the owner, their heirs, successors, and grantees. All street improvements shall be Type “B” in accordance with the City of St. Joseph General Ordinance No. 661.

An easement or license is hereby granted to the City of St. Joseph, Missouri to locate, construct, and maintain, or to authorize the location, construction, and maintenance of conduits, water, gas, and sewer pipes, poles, wires, sidewalks and surface drainage, or any or all of them over, under, along, and through the strips marked “UE” or “utility easement”, and that the planting of any trees or shrubbery or the placing of other improvements on said easements will be done at the risk of subsequent damage thereto without compensation therefore the easements granted to the City of St. Joseph, Missouri shall be superior to any other easement in the subdivision unless otherwise agreed to by the City of St. Joseph, Missouri.

IN TESTIMONY WHEREOF, the undersigned have caused these presents to be signed as follows:

Hillyard Industries, Inc.,

Blake Roth
Chief Manufacturing Officer

STATE OF MISSOURI)
) SS;
COUNTY OF BUCHANAN)

On this day of 2022, before me, a Notary Public in and for said state, personally appeared Blake Roth, Chief Manufacturing Officer, who to me personally known and by me duly sworn did say they executed the same as their free act and deed for the purposed therein stated.

IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my official seal on the date last above written.

Notary Public My Commission Expires:

IN TESTIMONY WHEREOF, the undersigned have caused these presents to be signed as follows:

Hillyard Holdings, LLC

Blake Roth
Chief Manufacturing Officer

STATE OF MISSOURI)
) SS;
COUNTY OF BUCHANAN)

On this day of 2022, before me, a Notary Public in and for said state, personally appeared Blake Roth, Chief Manufacturing Officer, who to me personally known and by me duly sworn did say they executed the same as their free act and deed for the purposed therein stated.

IN TESTIMONY WHEREOF I have hereunto set my hand and affixed my official seal on the date last above written.

Notary Public My Commission Expires:

OFFICE OF THE DIRECTOR OF PUBLIC WORKS AND TRANSPORTATION:

This is to certify that this plat was duly presented for the approval of the Director of Public Works & Transportation and has been approved on this day of 2022.

BY: Andrew Clements
Director of Public Works

OFFICE OF PLANNING & COMMUNITY DEVELOPMENT:

This is to certify that this plat was duly presented for the approval by the Director of the Planning & Community Development Department and has been duly approved on this day of 2022.

BY: Clint Thompson, Director of Planning & Community Development ATTEST: Clerk

BY: Paula Heyde, CMC
City Clerk

PREPARED FOR: HILLYARD INDUSTRIES, INC. SECTION 8, T-57N; R-35W ST. JOSEPH, BUCHANAN COUNTY, MISSOURI				
		LAND SURVEYORS - PLANNERS 501 North Market, Maryville, MO 64468 ph. (660) 582-8633 fax (660) 582-7173 4784 Frederick Blvd, St. Joseph, MO 64506 ph. (816) 233-7900 fax (816) 233-4852		
Midland Surveying, Inc. Missouri State Certificate of Authority #000120				
DATE: MAY 16, 2022	SCALE: 1" = 60'	REVISED:	SHEET NO. 2 OF 2	



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

May 4, 2022

VIA CERTIFIED MAIL

Applicant: Blake Roth on behalf of Hillyard Industries, Inc. & Hillyard Holdings, LLC

Location: 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th

Regarding: Request for a Major Subdivision entitled "Hillyard Addition"

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on May 19, 2022, on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is for a major subdivision entitled "Hillyard Addition" at the above-listed addresses. The proposed subdivision would consist of one lot of approximately 26.66 acres, located immediately north of downtown, near the existing Hillyard offices and facilities.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter.

Sincerely, 

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

Hillyard Addition Subdivision

May Planning Commission

Owner Name	Situs Address	Mailing Address		
BUCHANAN COUNTY	1001 N 4TH ST	411 JULES ST	ST JOSEPH	MO 64501 9171 9690 0935 0262 0629 80
APEX REALTY CO	229 ROBIDOUX	PO BOX 909	ST JOSEPH	MO 64501 9171 9690 0935 0262 0629 73
HILLYARD INDUSTRIES INC	302 MAIN ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
RIVERBANK PROPERTIES LLC	809 N 4TH ST	901 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0262 0629 42
YOUNG JEFFERY T & CYNTHIA	713 N 4TH ST	713 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4533 21
LOFTS AT 415	501 N 3RD ST	55 FIFTH AVE 15TH FL	NEW YORK	NY 10003 9171 9690 0935 0261 4533 14
HILLYARD INDUSTRIES INC	112 ANTOINE	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
MCDOWELL JOY L	1002 N 4TH ST	20 E HYDE PARK AVE	ST JOSEPH	MO 64504 9171 9690 0935 0261 4533 45
MCGARRY JOHN T	1007 N 3RD ST	9981 MCPHERSON RD	ATCHISON	KS 66002 9171 9690 0935 0261 4533 38
HILLYARD INDUSTRIES INC	601 N 3RD ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
HILLYARD INDUSTRIES INC	915 N 2ND ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
STATE OF MISSOURI	ST JOSEPH AVE	3602 N BELT HWY	ST JOSEPH	MO 64506 9171 9690 0935 0261 4533 69
FHKM LLC	510 N 4TH ST	825 FRANCIS ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4533 52
HILLYARD INDUSTRIES INC	304 MAIN ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
CAMPBELL TRACI D	1001 N 3RD ST	3503 DONIPHAN AVE	ST JOSEPH	MO 64507 9171 9690 0935 0261 4533 83
KAAHEA THEODORE N K & LAUMAUNA,	905 MAIN ST	1010 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4533 76
HILLYARD INDUSTRIES INC	508 N 3RD ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
MOSSER GREGG A	619 N 4TH ST	619 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 28
HILLYARD INDUSTRIES INC	418 N 2ND ST	302 N 4TH ST	ST JOSEPH	MO 64501 - applicant
WEST HILL CORP A CORP	519 MAIN ST	519 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 11
BUCHANAN COUNTY	515 N 4TH ST	411 JULES ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 42
WEST HILL CORP A CORP	423 MAIN ST	519 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 35
NAMPARA PROPERTIES LLC	602 MAIN ST	17808 CLIFF DR	INDEPENDENCE	MO 64055 9171 9690 0935 0261 4536 66
GREUB PROPERTIES LLC	711 N 4TH ST	1502 S 25TH ST	ST JOSEPH	MO 64507 9171 9690 0935 0261 4536 59
PORTER JEROME D & REBECCA J	703 N 4TH ST	703 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 80
RIVERBANK PROPERTIES LLC	815 N 4TH ST	901 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 73
RIVERBANK PROPERTIES LLC	901 N 4TH ST	901 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4537 03
APEX REALTY CO	226 ROBIDOUX	PO BOX 909	ST JOSEPH	MO 64501 9171 9690 0935 0261 4536 97
HAUSMAN MARC & HEATHER	601 N 4TH ST	601 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4537 27
BECKETT WILLIAM G	1013 N 3RD ST	704 W NODAWAY	OREGON	MO 64473 9171 9690 0935 0261 4537 10
WEST HILL CORP A CORP	501 MAIN ST	519 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4537 41
MCCOMAS MICHAEL JOE & KAREN KAY	514 N 4TH ST	46605 KINGS CANYON	LANCASTER	CA 93536 9171 9690 0935 0261 4537 34
CHURCH OF GOD TRUSTEES	203 E FRANKLIN	205 E FRANKLIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4537 65

Hillyard Addition

May Planning Commission

HILLYARD INDUSTRIES INC	609 N 2ND ST	302 N 4TH ST	ST JOSEPH	MO 64501 -applicant
STATE OF MISSOURI	N 2ND ST	3602 N BELT HWY	ST JOSEPH	MO 64506 9171 9690 0935 0261 4537 58
HILLYARD INDUSTRIES INC	902 N 3RD ST	302 N 4TH ST	ST JOSEPH	MO 64501 -applicant
SCHENECKER MARY BETH	1010 N 3RD ST	1520 N 42ND TER	ST JOSEPH	MO 64506 9171 9690 0935 0261 4537 89
BOATWRIGHT ROY D	519 N 4TH ST	519 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4537 72
HAGEMAN JUSTIN & TAMMY	721 N 4TH ST	721 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 02
BECKETT WILLIAM G	1009 N 3RD ST	704 W NODAWAY	OREGON	MO 64473 9171 9690 0935 0261 4537 96
APEX REALTY CO	N 3RD ST	PO BOX 909	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 26
APEX REALTY CO	402 N 3RD ST	PO BOX 909	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 19
HILLYARD INDUSTRIES INC	622 N 4TH ST	302 N 4TH ST	ST JOSEPH	MO 64501 -applicant
BUCHANAN COUNTY	511 N 4TH ST	411 JULES ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 40
KAAHEA ELIZABETH	901 MAIN ST	1010 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 33
BECKETT WILLIAM G	306 E POULIN	704 W NODAWAY	OREGON	MO 64473 9171 9690 0935 0261 4538 64
PHILLIPS JACOB D & LINDSEY M	521 N 4TH ST	521 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 57
BURNETT DEBRA	613 N 4TH ST	613 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 88
LOFTS AT 415	415 N 3RD ST	55 FIFTH AVE 15TH FL	NEW YORK	NY 10003 9171 9690 0935 0261 4538 71
HILLYARD HOLDINGS LLC	609 N 2ND ST	302 N 4TH ST	ST JOSEPH	MO 64501 -applicant
CAMPBELL TRACI D	307 E FRANKLIN	3503 DONIPHAN AVE	ST JOSEPH	MO 64507 9171 9690 0935 0261 4539 01
HAGEMAN JUSTIN & TAMMY	717 N 4TH ST	721 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4538 95
LOFTS AT 415	507 N 3RD ST	55 FIFTH AVE 15TH FL	NEW YORK	NY 10003 9171 9690 0935 0261 4539 25
ATTEBURY MICHAEL E	909-911 N 4TH	5605 LONG VIEW DR	ST JOSEPH	MO 64503 9171 9690 0935 0261 4539 18
ROCK GARRETT	615 N 4TH ST	2124 MARION RD 1E	ST JOSEPH	MO 64505 9171 9690 0935 0261 4539 49
JOHNSON TOMISINE J	705 N 4TH ST	707 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 32
RIVERBANK PROPERTIES LLC	805 N 4TH ST	901 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 63
NORTH CHURCH OF GOD	1002 N 3RD ST	203 E FRANKLIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 56
CORPORAL FRED SEIFERT POST 1668 VF	821 N 4TH ST	821 N 4TH ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 87
HEATHERMARC LLC	611 N 4TH ST	2201 MESSANIE	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 70
GUY L KAY	907 MAIN ST	907 MAIN ST	ST JOSEPH	MO 64501 9171 9690 0935 0261 4539 94

AFFIDAVIT OF PUBLICATION

NPG Newspapers, Inc., P.O. Box 29, St. Joseph, MO 64502

Reference:
Ad ID:

12290
6713582

P.O. :

DESC.: Planning Comm Meeting - 4 Items 5/19/22

REBECCA SHIPP

CITY OF SJ PLANNING COMM
1100 FREDERICK AVE, RM 107
ST. JOSEPH, MO 64501-2337

County of Buchanan
State of Missouri

I, Sandra Ridings, being duly sworn according to law, state that I am the Legal Advertising Coordinator of the St. Joseph News-Press, a daily newspaper of general circulation in the county of Buchanan, where located; which has been admitted to the Post Office as second class matter in the city of St. Joseph, the city of publication; where newspaper has been published regularly and consecutively for a period of three years and has a list of bona fide subscribers voluntarily engaged to pay a stated price for a subscription for a definite period of time, and that such newspaper has complied with the provisions of Section 493.050 Revised Statutes of Missouri, 1949. The affixed notice appeared in said newspaper on the following date:

Run Dates: 05/03/22 to 05/03/22
Appearances: 1
AD SPACE: 113
TOTAL COST: \$490.25

(Signed)

Subscribed and sworn before me this

4 day of May 2022
Judy B. Moreno Notary Public

JUDY B. MORENO
Notary Public - Notary Seal
State of Missouri
Commissioned for Buchanan County
My Commission Expires: June 23, 2024
Commission Number: 12544882

(Published in the St. Joseph
News-Press Tues. 5/03/22)

NOTICE OF PUBLIC HEARING

Notice is hereby given to all citizens of the City of St. Joseph, Missouri, that a meeting of the Planning Commission of the City of St. Joseph, Missouri, will be held on the 19th day of May, 2022 at 5:30 p.m. in the Council Chamber of City Hall wherein the Commission will conduct a public hearing for the following items and at which time all interested persons will be heard:

● A request for approval of a change of zoning from RP-2 Planned Two-Family Residential District and R-1B Single-Family Residential to RP-3 Planned Garden Apartment Residential District for property located at 3200 Timber Creek Drive and 3002 Ajax Road as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision located at 3200 Timber Creek Drive and 3002 Ajax Road, as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Hillyard Addition located at 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th, as requested by Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC

● A request for approval of a change of zoning from R-3 Garden Apartment Residential District to RP-4 Planned Apartment Residential District for property located at 4820 Gene Field Road as requested by Clark Hampton on behalf of Pivotal Point Transitional Housing.

Questions about the above referenced items should be directed to Zack Martin, City Planner at (816) 271-4648.

/s/

Allison Tschannen, Chairman
Planning Commission

Application	Waiver of the requirements of Sec. 26-70(a) and granting authority to the applicant to enter into a Subdivision Improvement Agreement (SIA) for Hillyard Addition as provided in Sec. 26-71(a).
Applicant	Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC.
Location	229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th
Staff Recommendation	APPROVAL

CODE REQUIREMENTS

Section 26-70(a) requires all Final Plat applicants to complete all street, sanitary and other public improvements with the exception of single or two-family residential or enter into a Subdivision Improvement Agreement.

Section 26-71(a) allows the Planning Commission to waive the requirement of Section 26-70(a) for the completion of required improvements and in lieu of a Subdivision Improvement Agreement or SIA by which the applicant agrees to complete all required improvements no later than **two** years following the approval of final plat and prior to issuance of certificates of occupancy associated with the plat.

STAFF RECOMMENDATION

An SIA allows the Developer to sell/build lots with an assurance of public improvements to be completed at a later time. Without the flexibility of an SIA, the Developer would not be allowed to sell/build more than one lot until all infrastructure is in place. This flexibility allows development to occur with the assurance to achieve compliance with Section 26-70(a) requirements. Upon approval by Planning Commission, City Staff will negotiate a Subdivision Improvement Agreement and will require approved form of surety, as required by City Code. The City Manager will sign the agreement document to allow the Final Plat to be submitted to the City Council for approval.

Staff recommends **APPROVAL** of the waiver of the requirements of Section 26-70(a) that would allow the parties to enter into a Subdivision Improvement Agreement for **Hillyard Addition** if it is deemed necessary.

Staff: 

Zack Martin, AICP

City Planner

(816) 271-4648

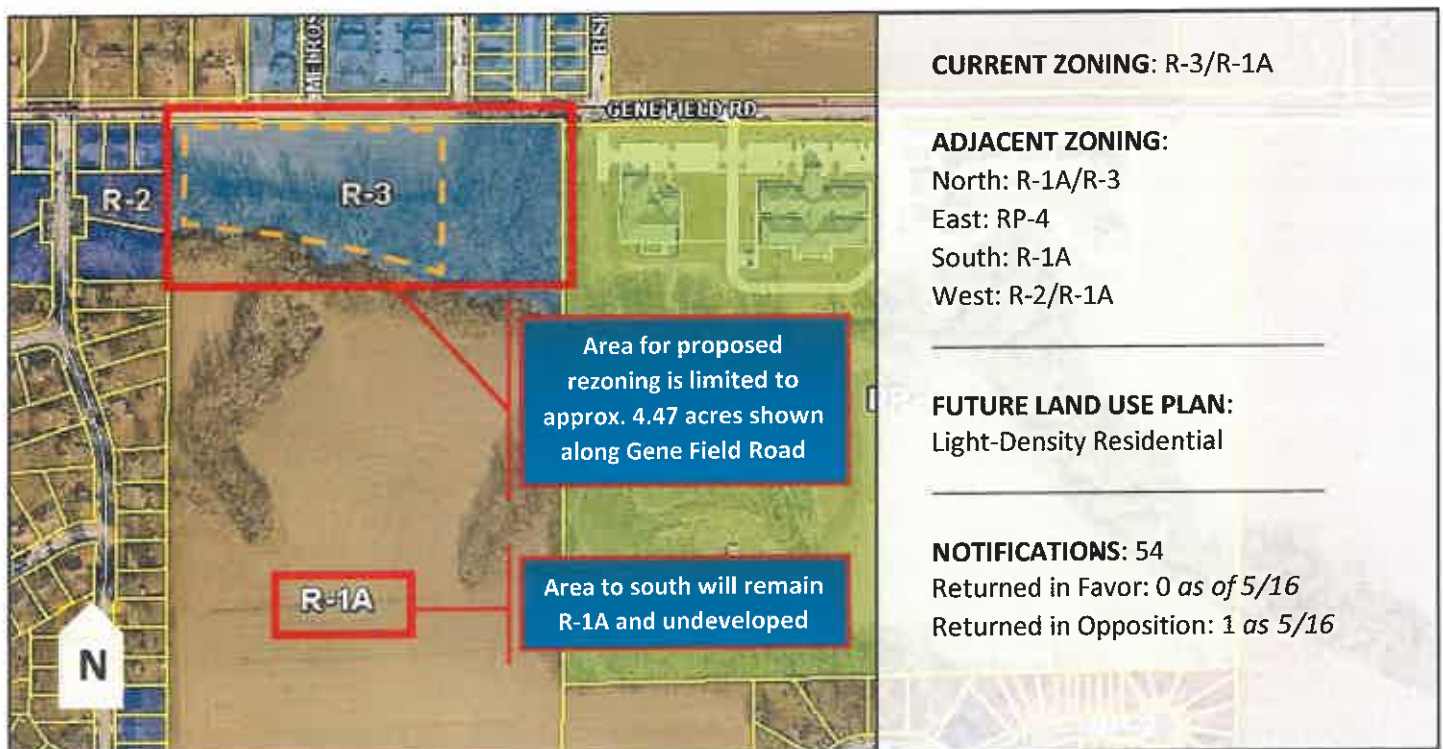
zmartin@stjosephmo.gov

Application	Request for a Zoning District Change from R-3, Garden Apartment Residential, to RP-4, Planned Apartment Residential
Applicant	Clark Hampton on behalf of Pivotal Point
Location	4820 Gene Field Road
Staff Recommendation	APPROVAL

BACKGROUND

This request is for a zoning district change for an area of land located in the northwestern-northcentral portion of 4820 Gene Field Road from R-3, Garden Apartment Residential, to RP-4, Planned Apartment Residential. The purpose of this rezoning would be to allow for the construction of a young adult residential facility operated by Pivotal Point. One purpose of a planned district (“**RP-4**”) is to provide for a specific use, with clear and outlined regulations and restrictions, that is otherwise not stated as a use in existing districts. The proposed use would have a limited number of residents, with a specific use and goal that would be limited to the proposed zoning district. The surrounding properties are zoned a mix of residential and commercial, with the north, west, and eastern boundaries bordered by residential uses, and commercial uses and zoning to the south along Pear Street.

OVERVIEW



ATTACHMENTS INCLUDED:

- Application & supporting documents provided by applicant.
 - Letter to adjacent property owners.
-

FACTORS FOR CONSIDERATION:

1. Conformance with adopted plans and planning policies.

Staff finds that the requested zoning district change is generally in keeping with adopted plans and planning policies. The Future Land Use Plan designates this area as “Light-Density Residential”. While this area as a whole has this designation, there has been numerous instances of multi-dwelling development in the area, notably to the north across Gene Field Road, and directly west and east of the subject property. The implementation of a planned district change here, as opposed to a standard zoning district change, would allow the property to be developed in a specific manner, outlined in the attached plans, without allowing other uses typically allowed within the R-4 district, such as apartment towers, etc. The proposed use would be relatively low density in practice, with a limited number of residents, and a small building footprint that staff finds appropriate given adjacent uses and the location along an arterial road.

2. Zoning and use of nearby property.

The immediately surrounding areas are zoned a mixture of residential districts, ranging from R-1A through RP-4. The area’s existing uses reflect this diversity in zoning. To the immediate west of the subject property are duplex homes, zoned R-2, Two-Family Residential. To the north are apartment dwellings on property zoned R-3, Garden Apartment Residential. To the south is a large area of property that is zoned R-1A, Single-Family Residential, but is undeveloped. To the east is the Field Pointe Senior Living facility, a property that is within its own RP-4 Planned District, given its use as a residential facility for senior citizens. Overall, staff found that the area had a large range of residential zoning types, providing great flexibility to residents and development in the area.

3. Whether public facilities (infrastructure) and services will be adequate to serve development allowed in the requested zoning district change.

Staff determines that the existing facilities and infrastructure would be adequate for the proposed development. The proposed residences would consist of approximately 12-14 youth residents (aged 17-20) as well as onsite resident managers. This, with the addition of case managers there during regular day-time hours, and occasional visitors, etc. would be adequately served by the utilities available.

4. Whether traffic levels are inappropriate, hazardous, or detrimental to existing or potential nearby land uses.

Staff does not feel that the development would cause inappropriate, hazardous, or detrimental traffic levels to the area. As stated above, the development has a finite number of residents and associated individuals staying at or utilizing the facility. These residents, and the occasional visitors, etc. would not significantly increase the traffic along Gene Field Road.

5. Length of time the subject property has remained vacant as currently zoned.

As far as staff is aware, this property has never been developed or in use as anything other than agricultural land. Though the property did go through a rezoning at some point in the past to zone the portion along Gene Field Road to R-3, Garden Apartment Residential. Staff was unable to find the specific case file for this rezoning, though was able to locate the rezoning file for the property to the north dated June 1975. Assuming that development was likely thought to occur along Gene Field Road in the future, staff cautiously posits that the rezoning of this property dates to sometime within that range as well.

STAFF REVIEW & RECOMMENDATION

Staff recommends **APPROVAL** based on the above and following findings:

- Request is generally in keeping with City's current Future Land Use Map:
- Proposed rezoning is not detrimental to public's health, safety, or welfare as the proposed rezoning is specifically oriented to addressing current social concerns of the City, primarily unhoused youth and generational poverty and homelessness:
- The Proposed rezoning would allow for the orderly development of the property based on the attached plans with the understanding changes to the plans could not be made without first amending the plan and zoning district through a public hearing process as outlined in Chapter 31.

Staff: 

Zack Martin, AICP

City Planner

(816) 271-4648

zmartin@stjosephmo.gov

City of St. Joseph

1100 FREDERICK AVENUE, Room 107
Planning & C. D. Department
Planning & Zoning Division

ST. JOSEPH, MISSOURI 64501-2346
Telephone (816) 271-4773
Telefax (816) 271-4752

APPLICATION FOR APPROVAL OF ZONING DISTRICT CHANGE TO A PLANNED UNIT DEVELOPMENT

Non-Refundable Filing Fee Must be Attached: \$1,365.00

- Street address of the Property: 4820 COENE FIELD ROAD
- Legal Description of the Property (must be submitted digitally as well as written unless it is lot and block): LOT 1 COENE FIELD ROAD SUBDIVISION
- Requested Zoning District: RP-4
- On a separate sheet of paper, fully describe the activity for which you are applying for a Zoning District Change. Include proposed hours of operation, expected traffic volumes, staffing levels, parking availability and any other information that would be helpful. Please do not exceed one sheet of paper. This information will be included in a letter that will be sent to all property owners within 185 feet of your property.

THE UNDERSIGNED HEREBY APPLIES FOR THE APPROVAL OF SAID ZONING DISTRICT CHANGE BY THE CITY OF ST. JOSEPH IN BELIEF THAT THE REQUEST CONFORMS TO CHAPTER 31 OF THE CODE OF ORDINANCES.

With the signing and submittal of this application, the property owner authorizes the City of St. Joseph to enter onto the subject property to collect data and other information in order to accurately prepare reports or other documentation for review by the City Council, City boards & commissions, and City departments.

- Signature of Applicant: Clark W. Hampton
Print or type name: CLARK W. HAMPTON
Address of applicant: 6 HUNTER ST. ST. JOSEPH MO 64506
Telephone number of applicant: 816-262-0787
- Signature of property owner or his/her legal representative: Clark W. Hampton
Print or type name: CLARK W. HAMPTON
Address of property owner or his/her legal representative: 3008 PARKWAY A ST. JOSEPH MO
Telephone number of property owner or his/her legal representative: 816-351-5774

Items to be submitted with application:

1. ☒ This completed application -- all sections must be completed or application will be deemed invalid.
2. ☒ Materials required on application checklist for zoning district change (see back).
3. ☒ Planned Unit Developments and Planned Developments must also provide materials listed on PUD/PD checklist.
4. ☒ One separate sheet of paper explaining intended use of property.
5. ☒ Legal description in digital format (preferably e-mailed to the City Planner).
6. ☒ \$1,365.00 non-refundable filing fee.
7. ☒ Zoning map (see back).

To be completed by City staff only:

Current zoning of property: R-3
Date application recvd: 4/27/22
Date filing fee recvd: 4/27/22
Staff initial: JM

[illegible]

Description:

Lot 1 of Gene Field Road Subdivision, a subdivision located in the Northwest Quarter and the Northeast Quarter of Section 1, Township 57 North, Range 35 West, St. Joseph, Buchanan County, Missouri.

The above described tract of land contains 4.47 acres, more or less, exclusive of Gene Field Road right-of-way, and is subject to all recorded and unrecorded easements, restrictions, and right-of-ways.



Pivotal Point Transitional Housing
PO BOX 8274
St. Joseph, MO 64507
www.pivotalpointstjoseph.org

Pivotal Point Transitional Housing has been piloting a Youth program for 5 years serving 27 homeless youth ages 17-20. Over the past 3 years, we have received over 100 applications in this age range. The purpose of a new Youth building is to provide better resources and to serve more youth in our community. The need in our community to serve homeless and abused teens continues to grow. Our mission is to make positive, long term change in the lives of youth in our community by providing the following:

- **Transitional Housing**-Pivotal Point will be the only organization housing teens in our community. Each youth must apply and qualify for the program. They must also follow very strict rules and guidelines in order to be in the program. Youth residents are chosen based on specific qualifications, interest in program, and motivation to make life changes. The youth in our program would stay 12-24 months while achieving both educational and career training goals.
- **Education**-Pivotal point also addresses the educational needs of our homeless youth. 50% of the youth do not have diplomas or GED. The goal for our participants is to graduate from High school or pursue a GED while in our program. Each youth resident is working at least part-time in our community as well.
- **Life skills/Case management**-Each resident participates in weekly case management, budgeting, and life skills classes. We provide the education and life skills that homeless youth in our community are missing. Also included is the emotional counseling and support they need due to abuse and neglect.

Pivotal Point plans to build a new facility that will house 12-14 youth that have no other place to go. Based on our experience, our youth want the opportunity to break the cycle of poverty and homelessness and continue to be positive members of the community. For more information about Pivotal Point and testimonials from our youth please visit www.pivotalpointstjoseph.org.

Office hours for two case managers will be 9am-5pm Monday-Friday. In addition, there will be Resident Managers who live onsite. We will have parking at the building to accommodate each resident, staff, and visitors. Traffic volumes are expected to be lower than apartment and duplex residences already in the neighborhood.

This \$2,000,000 project will break ground as soon as it's funded. It's our vision to eliminate St. Joseph's generational homelessness and poverty one youth resident at a time, with a place for them to not only survive, but thrive. We simply cannot do this without the support from our community.

In summary, if we provide the youth of our community transitional housing that emphasizes health, education, and life skills in a safe environment we are creating a community that is eliminating generational poverty and homelessness.

Melissa Frakes
Executive Director
(816) 351-5774



TRANSITIONAL YOUTH HOUSING

**4820 GENE FIELD ROAD
(LAND GIFTED FROM
CENTRAL CHRISTIAN CHURCH)**



The Need is Real.

27 youth residents during 2019 and 2020 were served through Pivotal Point in our transitional housing program.

Many More Need Our Help.

More than 100 youth applicants (over 80 percent) were unable to be served through Pivotal Point, due to lack of accommodations and resources.

Hope Is On the Way.

We're seeking to assist youth in our community, ages 17-20, by helping them discover their potential and develop the necessary skills to become healthy, productive adults that earn a family-sustaining wage.

**It's our vision to eliminate
St. Joseph's generational**

**homelessness and poverty one youth
resident at a time, with a place for
them to not only survive, but thrive.**

Two phase, \$4 million dollar project

- **Phase One: \$2 million dollar facility to house 12-14 youth**
- **Phase Two: \$2 million dollar facility to house 12-14 youth**

Transitional Youth Housing Facts

- New construction facility
- Secure facility with live-in house managers
- Will house 12-14 youths, ages 17-20
- Structured program includes drug screening, rules and curfews
- Emphasis on health, education, life skills
- Only facility in St. Joseph to house youth
- Break ground in 2022, open 2023 (phase 1)
- Goal is to graduate high school or obtain GED
- Each resident will work in our community
- Emotional support and counseling provided
- Mission is to make positive, long-term change for youth residents
- Highly selective application and interview process
- Expected stay is 12-24 months

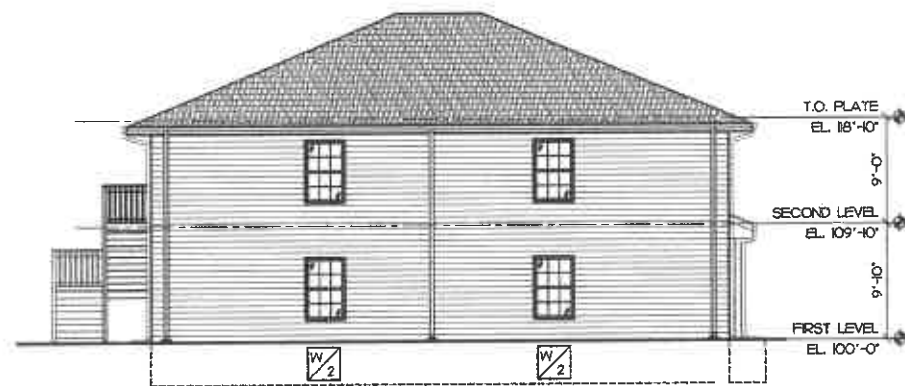
3008 Parkway A St. Joseph, MO 64507 Office: 816-261-8158

More info or to donate: www.pivotalpointstjoseph.org





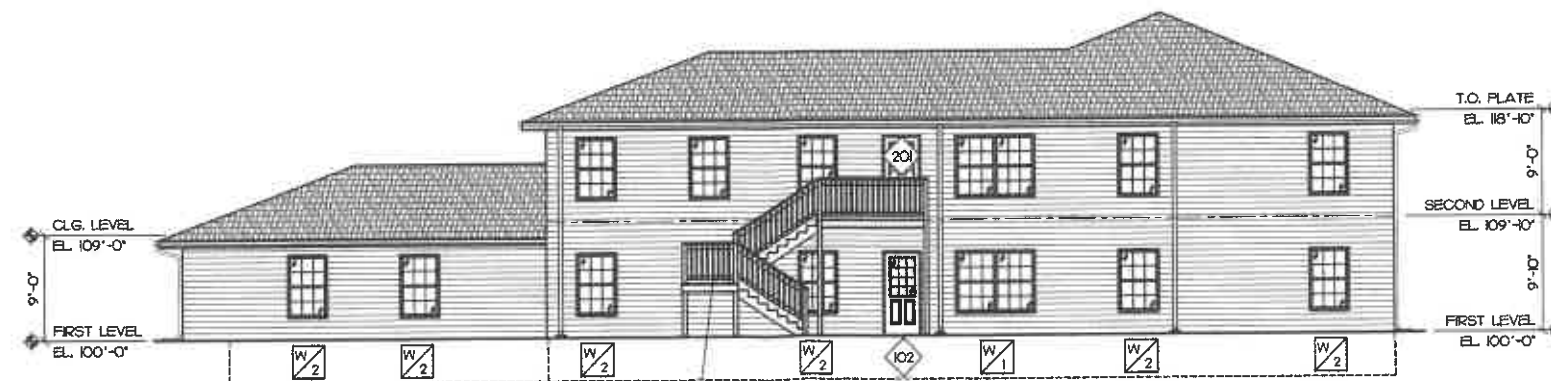
NORTH ELEVATION
1/4" = 1'-0"



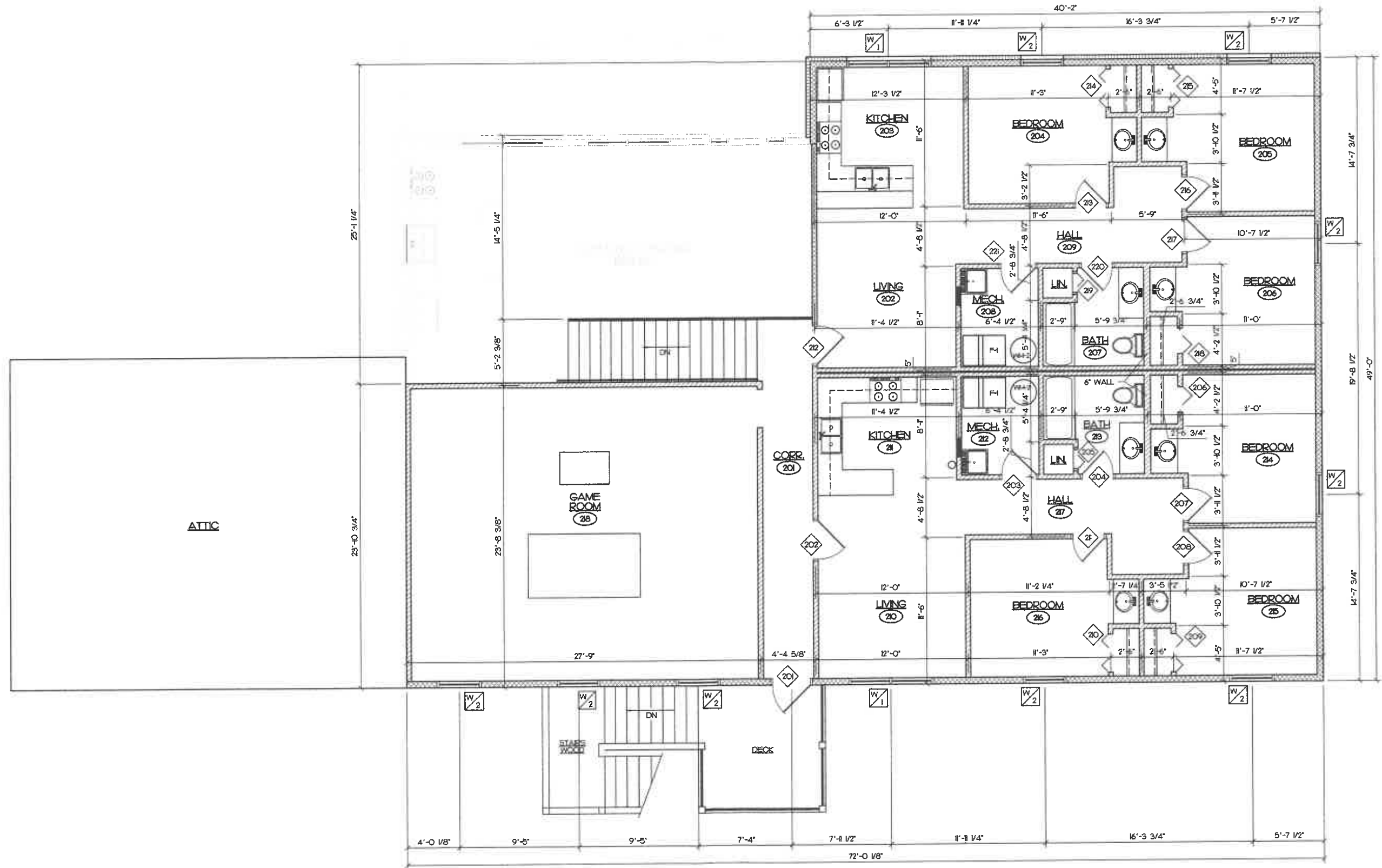
EAST ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



SITE PLAN
1" = 100'-0"



Owner Name	Situs Address	Mailing Address				
GONZALEZ RACHELLE S	1805 LION RD	1805 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	06
MONTEIGNE INVESTORS LLC	2715 B MONTEIGNE LN	PO BOX 8275	ST JOSEPH	MO	64508 9171 9690 0935 0261 4533	90
BISHOP ROAD HOMES ASSOCIATION	NATCHEZ DR	20920 CO RD 379	ST JOSEPH	MO	64505 9171 9690 0935 0261 4534	20
MEJIA MICHAEL A	1814 LION RD	1814 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	13
BESCO KEITH C	1909 LION RD	1909 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	44
MONTEIGNE INVESTORS LLC	2713 C MONTEIGNE LN	PO BOX 8275	ST JOSEPH	MO	64508 9171 9690 0935 0261 4534	37
CENTRAL CHRISTIAN CHURCH OF ST JOSEPH	FREDERICK AVE	1501 N LEONARD	ST JOSEPH	MO	64506 - applicant	
WINFREY GARY L & MARY LOIS	1923 LION RD	1923 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	68
HAY VALTA I	1901 LION RD	1901 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	51
ROADES JACKIE & PTRICIA TRUST	1910 LION RD	1910 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	82
BYERS PHYLLIS M & MC CAMY, MADELINE K	1819 LION RD	1819 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4534	75
BCJN PROPERTIES	2702 MELROSE LN	2508 EMORY LN	ST JOSEPH	MO	64506 9171 9690 0935 0261 4535	05
ST JOSEPH MEMORIAL PARK LLC	4929 FREDERICK BLVD	PO BOX 8790	ST JOSEPH	MO	64508 9171 9690 0935 0261 4534	99
PONTIUS JOSEPH G & AMANDA L	1919 LION RD	1919 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4535	29
HAHN HARVEY D & EILEEN M	1704 LION RD	1650 BLACKSMITH CT	ST LOUIS	MO	63146 9171 9690 0935 0261 4535	12
MONTEIGNE INVESTORS LLC	2713 D MONTEIGNE LN	PO BOX 8275	ST JOSEPH	MO	64508 9171 9690 0935 0261 4535	43
BENSON TODD A & CINDY L	1701 LION RD	1607 COMMERCE	ST JOSEPH	MO	64505 9171 9690 0935 0261 4535	36
DAWN PASCHAL PROPERTIES LLC	4906 GENE FIELD RD	PO BOX 8342	ST JOSEPH	MO	64508 9171 9690 0935 0261 4535	67
BISHOP ROAD INVESTORS LLC	2712 G BISHOP RD	PO BOX 8275	ST JOSEPH	MO	64508 9171 9690 0935 0261 4535	50
HERZOG CONTRACTING CORP	2901 BISHOP RD	PO BOX 1089	ST JOSEPH	MO	64502 9171 9690 0935 0261 4535	81
CLINE EVAN & ELISE	4817 GENE FIELD RD	4817 GENE FIELD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4535	74
ST JOSEPH MEMORIAL PARK LLC	FREDERICK BLVD	PO BOX 8790	ST JOSEPH	MO	64508 9171 9690 0935 0261 4536	04
POAGE DAVID L & LEIGH ANNE	1810 LION RD	1810 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4535	98
DAWN PASCHAL PAROPERTIES LLC	4902 GENE FIELD RD	PO BOX 8342	ST JOSEPH	MO	64508 9171 9690 0935 0261 4530	00
HORSMAN VALIJA BELLE	4818 ARROWHEAD DR	4818 ARROWHEAD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4530	24
BENSON TODD A & CINDY L	1705 LION RD	1607 COMMERCE	ST JOSEPH	MO	64505 9171 9690 0935 0261 4530	17
BEGER STEVEN J & JANET L TRUST	4910 GENE FIELD RD	1728 S 41ST ST	ST JOSEPH	MO	64507 9171 9690 0935 0261 4530	48
COX CHERYL A	1815 LION RD	1815 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4530	31
ST JOSEPH MISSOURI I LLC	5002 GENE FIELD RD	214 N SCOTT ST	SIKESTON	MO	63801 9171 9690 0935 0261 4530	62
BCJN INVESTMENT INC	1619 LION RD	2508 EMORY LN	ST JOSEPH	MO	64506 9171 9690 0935 0261 4530	55
ROADES GREGORY ALAN	1929 LION RD	1929 LION RD	ST JOSEPH	MO	64506 9171 9690 0935 0261 4530	86
BISHOP ROAD HOMES ASSOCIATION	GENE FIELD RD	20920 CO RD 379	ST JOSEPH	MO	64505 9171 9690 0935 0261 4530	79
MOORE DAURICE TRUST	1709 LION RD	PO BOX 64142	ST PAUL	MN	55164 9171 9690 0935 0261 4531	09

BROWN ALBERT & GLENDA TRUST	4821 GENE FIELD RD	4821 GENE FIELD	ST JOSEPH MO 64506 9171 9690 0935 0261 4530 93
DAWN PASCHAL PROPERTIES LLC	2015 SAFARI DR	PO BOX 8342	ST JOSEPH MO 64508 9171 9690 0935 0261 4531 47
BEGER STEVEN J & JANET L TRUST	1801 LION RD	1728 S 41ST ST	ST JOSEPH MO 64507 9171 9690 0935 0261 4531 23
CENTRAL CHRISTIAN CHURCH OF ST JOSEPH	SAFARI DR	1501 N LEONARD	ST JOSEPH MO 64506 > applicant
CENTRAL CHRISTIAN CHURCH OF ST JOSEPH	4820 GENE FIELD RD	1501 N LEONARD	ST JOSEPH MO 64506
BISHOP ROAD INVESTORS LLC	2714 F BISHOP RD	PO BOX 8275	ST JOSEPH MO 64508 9171 9690 0935 0261 4531 16
VISTA HOMES LLC	1905 LION RD	19400 HWY 59	ST JOSEPH MO 64505 9171 9690 0935 0261 4531 30
BISHOP ROAD INVESTORS LLC	2712 BDF BISHOP RD	PO BOX 8275	ST JOSEPH MO 64508 9171 9690 0935 0261 4531 61
LONG BRANCH PROPERTIES LLC	1723 LION RD	17620 STATE RT D	ST JOSEPH MO 64505 9171 9690 0935 0261 4531 54
BIDDING ROBERT & KATHLEEN M	1719 LION RD	1315 ASHLAND	ST JOSEPH MO 64506 9171 9690 0935 0261 4531 85
ORTEGA ANTHONY	4823 ARROWHEAD DR	4823 ARROWHEAD	ST JOSEPH MO 64506 9171 9690 0935 0261 4531 78
GRIER KEVIN & DIANA	1933 LION RD	1933 LION RD	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 08
ATKINS SHELLEY K	1809 LION RD	1809 LION RD	ST JOSEPH MO 64506 9171 9690 0935 0261 4531 92
RYAN CARLA A	1713 LION RD	3006 NEWPORT	ST JOSEPH MO 64505 9171 9690 0935 0261 4532 22
SPAETH LINDA L	1411 CROSSBOW DR	1411 CROSSBOW	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 15
WING LOGAN E III & MARIANNE	2001 SAFARI DR	2001 SAFARI DR	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 46
FORD GREGORY A & RHONDA K	1410 CROSSBOW DR	1410 CROSSBOW	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 39
KERNS MICHAEL W & ASHLEY A	4815 GENE FIELD RD	4815 GENE FIELD	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 60
LUCHSINGER JOHN C	1802 LION RD	1802 LION RD	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 53
BOOK DAVID E & JANET K	1825 LION RD	PO BOX 45	OREGON MO 64473 9171 9690 0935 0261 4532 84
FISHER CHARLES J & LINDA E	1823 LION RD	1823 LION RD	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 77
CONSOLVER ROGER & DEBRA	1806 LION RD	1806 LION RD	ST JOSEPH MO 64506 9171 9690 0935 0261 4533 07
BCJN PROPERTIES	2701 MELROSE LN	2508 EMORY LN	ST JOSEPH MO 64506 9171 9690 0935 0261 4532 91
NGUYEN ANH P & LAI VINH K	1804 LION RD	631 N BELT HWY	ST JOSEPH MO 64506 9171 9690 0935 0262 4781 01



NOTICE OF PUBLIC HEARING

City of St. Joseph, Missouri | Planning & Zoning
1100 Frederick Avenue, Room 107
(816) 271-4648 | zmartin@stjosephmo.gov

May 4, 2022

VIA CERTIFIED MAIL

Applicant: Clark Hampton on behalf of Pivotal Point Transitional Housing
Location: 4820 Gene Field Road
Regarding: Request for a Zoning District Change from R-3, Garden Apartment Residential District, to RP-4, Planned Apartment Residential District

DEAR ADJACENT PROPERTY OWNER

The Planning Commission will conduct a public hearing in the Council Chamber, Third Floor, City Hall, at 5:30 p.m. on May 19, 2022 on this request. A recommendation from the Planning Commission will be forwarded to the City Council for final action. The date of the City Council meeting can be obtained by contacting the City Clerk's office at (816) 271-4730 after the Planning Commission meeting.

This request is for a zoning district change for an area of land located in the northwestern/northcentral portion of 4820 Gene Field Road from R-3, Garden Apartment Residential District, to RP-4, Planned Apartment Residential District. The purpose of this rezoning would be to allow for the construction of a young adult residential facility operated by Pivotal Point. One purpose of a planned district ("RP-4") is to provide for a specific use, with clear and outlined regulations and restrictions, that is otherwise not stated as a use in existing districts. The proposed use would have a limited number of residents, with a specific use and goal that would be limited to the proposed zoning district.

All interested citizens are invited to attend this public hearing; however, we are making a special effort to notify property owners within 185 ft. That is why you have received this certified letter.

A comment form is enclosed with this letter for those who would like to express concerns or support for the request. Written comments to be included in the Planning Commission packet should be filed with the Department of Planning & Community Development, Room 107, City Hall, by May 13, 2022. Written or verbal comments received after this date may be given during the public hearing.

Sincerely,

A handwritten signature in blue ink, appearing to be "ZM" or "Zack Martin", written over a light blue circular stamp.

Zack Martin
City Planner

It is the intention of the City of St. Joseph to comply in all aspects with the Americans with Disabilities Act (ADA). If you plan on attending a meeting to participate or to observe and need special assistance beyond what is routinely provided, the city will attempt to accommodate you in every reasonable manner. Please contact the ADA Coordinator, 816-271-4610, or TDD# 816-271-4898 at least two business days prior to the meeting to inform the City of your specific needs and to determine if accommodation is feasible.

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

MAY PLANNING COMMISSION MEETING

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ **FOR** ☐ **AGAINST** said request.

Address of the proposed subdivision:

4820 Gene Field Road

Name, address & phone of party filing comment (Please print): _____
(Name)

(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request: _____

Reason(s) for concern or support to the request: _____

OWNERS OF RECORD MUST SIGN:

Signature _____

Address: _____

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this _____ day of _____, 20____.

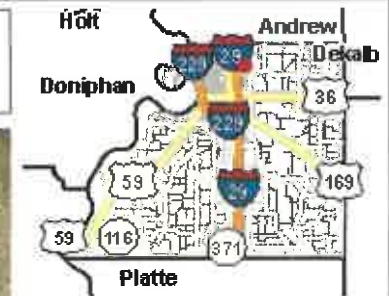
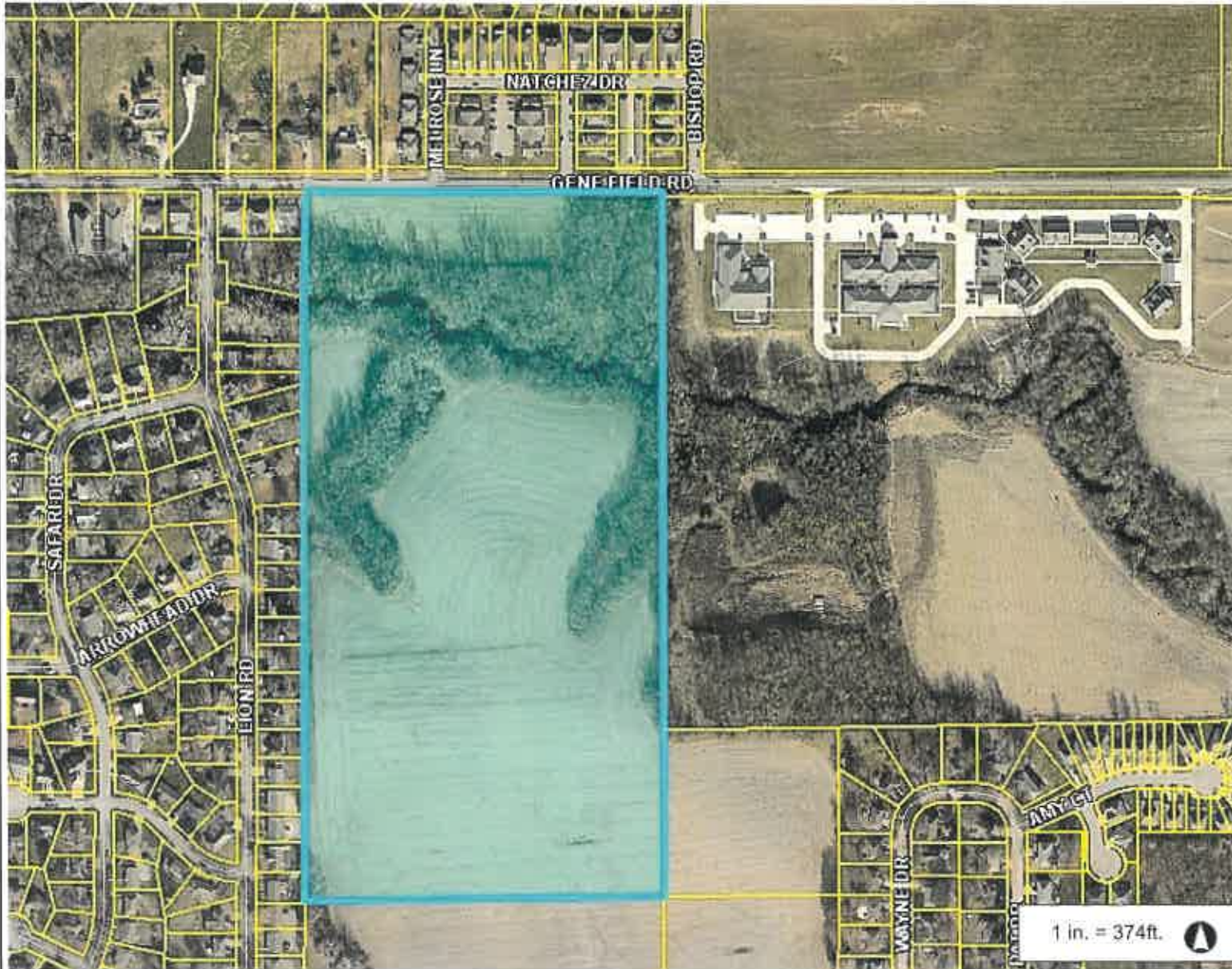
Notary Public _____

My commission expires _____

OFFICE USE Within 185 ft. of petitioned property Not within 185 ft. of petitioned property _____

NOTE: A Notary Public is available at City Hall at no charge

4820 Gene Field Road



Legend

- Road**
- <all other values>
 - Interstate
 - State Highway L
 - State Highway N
 - U.S. Highway
- Railroad
- Parcel

Notes

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

COMMENTS IN REFERENCE TO PROPOSED ZONING DISTRICT CHANGE

To the City of St. Joseph, Missouri:

MAY PLANNING COMMISSION MEETING

The undersigned state that the facts as entered herein are true to the best of their knowledge and belief, wish to comment on the following application of a zoning district change and ask the Planning Commission to vote ☐ FOR ☒ AGAINST said request.

Address of the proposed subdivision:

4820 Gene Field Road

Name, address & phone of party filing comment (Please print):

Cheryl Cox
1815 Lion Rd ST. JOE 64506 816-617-7633
(Address) (Phone)

If you own property in the neighborhood of the proposed rezoning, but do not live at that property, please give address of that property: _____

Legal description of land owned relating to request:

SUB: Hurst Eastern Hills
Second EX LOT: 148 BIK LGL DESC.

Reason(s) for concern or support to the request:

Safety of neighborhood
and decrease of property value. I do not want this
type of housing in my back yard.

OWNERS OF RECORD MUST SIGN:

Signature

Address:

Cheryl Cox
1815 Lion Rd
ST. JOSEPH, MO. 64506-2538

NOTE: To be a valid protest, signatures must be notarized. Comments in favor need not be notarized.

Subscribed and sworn to before me this 13 day of may, 2022.

Notary Public

My commission expires

KAYLA COPENHAVER
Notary Public-Notary Seal
STATE OF MISSOURI
Commissioned for Buchanan County
My Commission Expires: August 29, 2025
ID #21946336

OFFICE USE Within 185 ft. of petitioned property
Not within 185 ft. of petitioned property

NOTE: A Notary Public is available at City Hall at no charge

AFFIDAVIT OF PUBLICATION

NPG Newspapers, Inc., P.O. Box 29, St. Joseph, MO 64502

Reference:
Ad ID:

12290
6713582

P.O. :

DESC :Planning Comm Meeting - 4 Items 5/19/22

REBECCA SHIPP

CITY OF SJ PLANNING COMM
1100 FREDERICK AVE, RM 107
ST. JOSEPH, MO 64501-2337

County of Buchanan
State of Missouri

I, Sandra Ridings, being duly sworn according to law, state that I am the Legal Advertising Coordinator of the St. Joseph News-Press, a daily newspaper of general circulation in the county of Buchanan, where located; which has been admitted to the Post Office as second class matter in the city of St. Joseph, the city of publication; where newspaper has been published regularly and consecutively for a period of three years and has a list of bona fide subscribers voluntarily engaged to pay a stated price for a subscription for a definite period of time, and that such newspaper has complied with the provisions of Section 493.050 Revised Statutes of Missouri, 1949. The affixed notice appeared in said newspaper on the following date:

Run Dates: 05/03/22 to 05/03/22
Appearances: 1
AD SPACE: 113
TOTAL COST: \$490.25

(Signed)

Subscribed and sworn before me this

4 day of May 2022
Judy B. Moreno Notary Public

JUDY B. MORENO
Notary Public - Notary Seal
State of Missouri
Commissioned for Buchanan County
My Commission Expires: June 23, 2024
Commission Number: 12544882

(Published in the St. Joseph
News-Press Tues. 5/03/22)

NOTICE OF PUBLIC HEARING

Notice is hereby given to all citizens of the City of St. Joseph, Missouri, that a meeting of the Planning Commission of the City of St. Joseph, Missouri, will be held on the 19th day of May, 2022 at 5:30 p.m. in the Council Chamber of City Hall wherein the Commission will conduct a public hearing for the following items and at which time all interested persons will be heard:

● A request for approval of a change of zoning from RP-2 Planned Two-Family Residential District and R-1B Single-Family Residential to RP-3 Planned Garden Apartment Residential District for property located at 3200 Timber Creek Drive and 3002 Ajax Road as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Timber Creek Subdivision located at 3200 Timber Creek Drive and 3002 Ajax Road, as requested by Shawn Duke on behalf of Midland Construction Services LLC.

● A request for approval of a preliminary plat for a major subdivision entitled Hillyard Addition located at 229 Robidoux, 609 N 2nd, 915 N 2nd, 508 N 3rd, 601 N 3rd, 902 N 3rd, and 622 N 4th, as requested by Blake Roth on behalf of Hillyard Industries, Inc. and Hillyard Holdings, LLC

● A request for approval of a change of zoning from R-3 Garden Apartment Residential District to RP-4 Planned Apartment Residential District for property located at 4820 Gene Field Road as requested by Clark Hampton on behalf of Pivotal Point Transitional Housing.

Questions about the above referenced items should be directed to Zack Martin, City Planner at (816) 271-4648.

/s/

Allison Tschannen, Chairman
Planning Commission